

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER DATE
 APPLICANT DATE

SITE PLAN OF PROPOSED RESIDENTIAL APARTMENTS
 LOT 16 BLOCK 802 ZONE D-BUSINESS
 DATE 5-14-21 SCALE 1"=100'
 APPLICANT 131 FORT LEE ROAD, LLC
 ADDRESS 131 FORT LEE ROAD
 LEONA, NJ 07605

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

NAME
 PE 29497
 TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF LEONA

By: CHAIRMAN DATE
 SECRETARY DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

BOROUGH ENGINEER DATE
 CONSTRUCTION OFFICIAL DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

BOROUGH ENGINEER DATE
 CONSTRUCTION OFFICIAL DATE

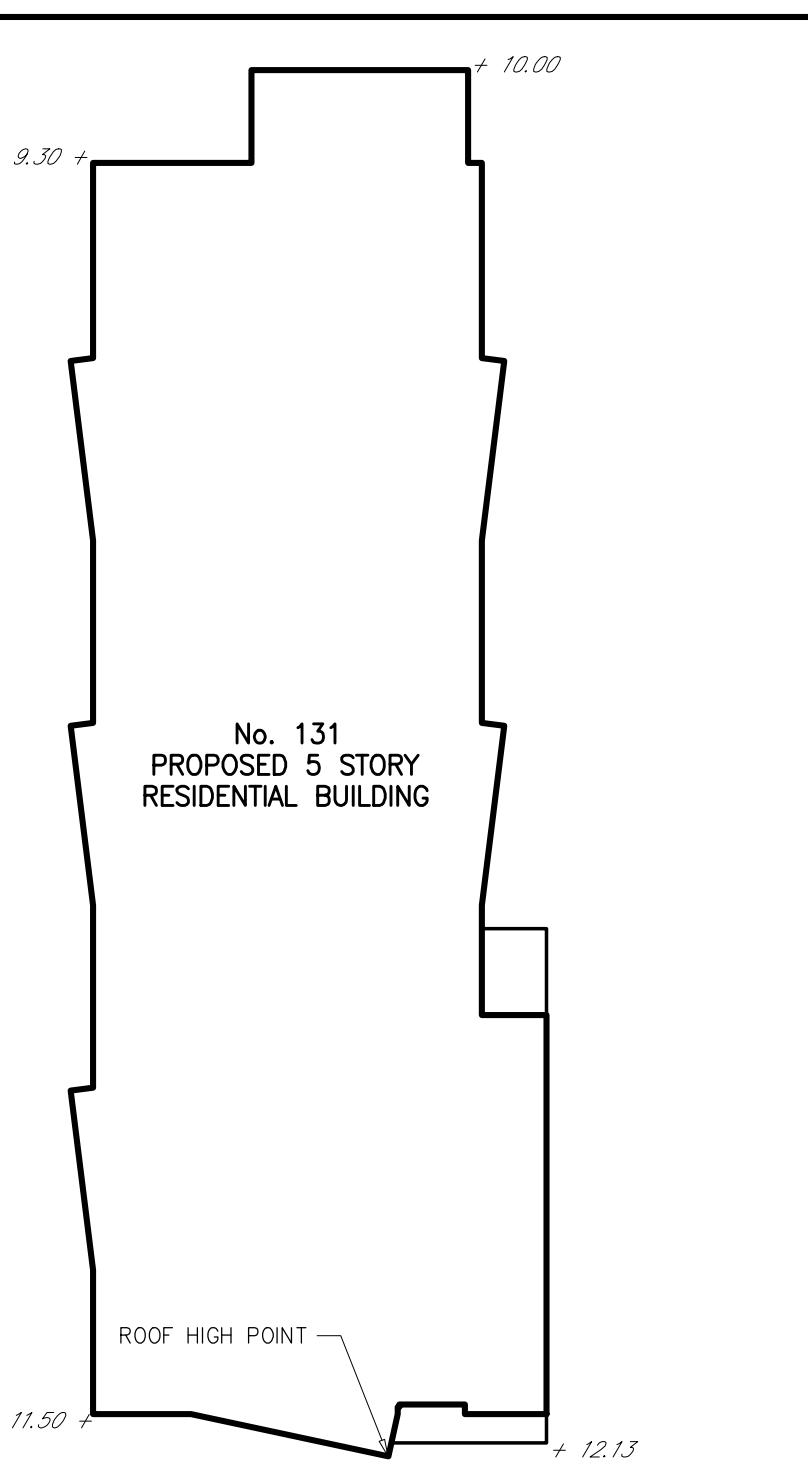
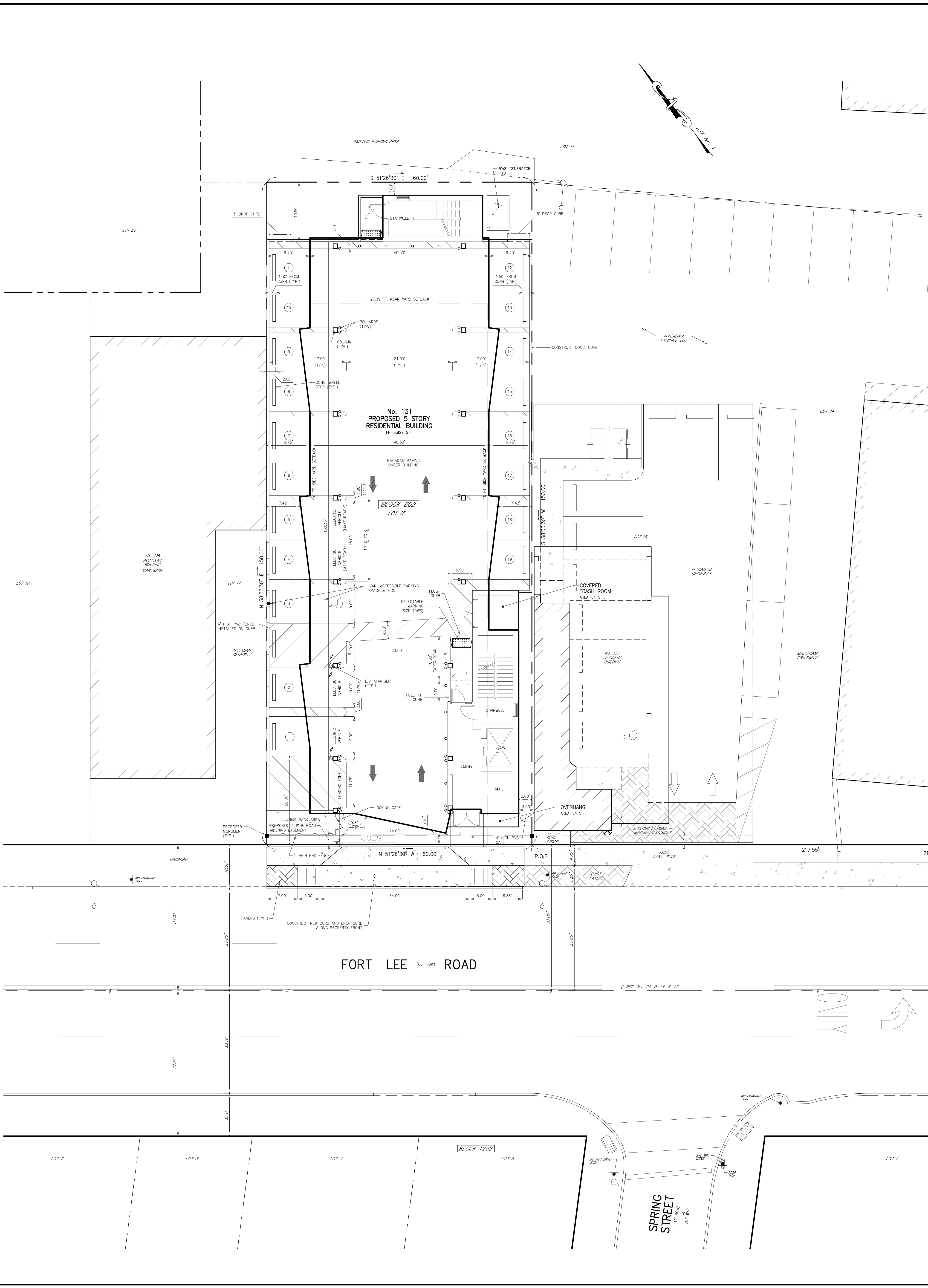
I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER DATE
 CONSTRUCTION OFFICIAL DATE

OCCUPANCY PERMIT ISSUED DATE

APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: DATE:



BLDG. HEIGHT SCHEMATIC

BLDG. HEIGHT CALC'S

AVG. ORIGINAL GRADE = 10.73 EL.
 HIGHEST POINT OF ROOF = 72.00 EL.
 HEIGHT = 61.27 FT.

PARKING NOTES

MIN. AISLE WIDTH (90°) 24 FT.
 MIN. STALL AREA 200 S.F.
 MIN. STALL WIDTH 10 FT.
 MIN. PARKING SPACES 32
 MIN. SIDE YARD SETBACK 8 FT.
 MIN. REAR YARD SETBACK 8 FT.
 MIN. FRONT YARD SETBACK 30 FT.

* VARIANCE REQUIRED.
 (3) PHYSICAL SPACES = 19
 E.V. CREDIT SPACES = 2
 TOTAL SPACES = 21

AGGREGATE FLOOR AREA (FA)

1st FL = 907 S.F.
 2nd FL = 5,929 S.F.
 3rd FL = 5,929 S.F.
 4th FL = 5,929 S.F.
 5th FL = 5,929 S.F.
 TOTAL FA = 24,623 S.F.

BLDG. COVERAGE CALC'S

FOOTPRINT 5,929 S.F.
 TRASH ROOM 61 S.F.
 OVERHANG 54 S.F.
 6,044 S.F./9,000 S.F. = 67.16%

IMP. COVERAGE CALC'S

BLDG. COVERAGE 6,044 S.F.
 PARKING LOT (OUTSIDE BLDG FP) 1,926 S.F.
 DRIVEWAY (OUTSIDE BLDG FP) 120 S.F.
 WALKS 83 S.F.
 GENERATOR 40 S.F.
 BIKE RACK 93 S.F.
 8,306 S.F./9,000 S.F. = 92.29%

GREEN AREA CALC'S

REAR LANDSCAPE AREA 494 S.F./9,000 S.F. = 5.49%

BUILDING DATA

1st FL LOBBY & PARKING
 2nd FL (4) 1-BEDROOM & (1) 2-BEDROOM
 3rd FL (4) 1-BEDROOM & (1) 2-BEDROOM
 4th FL (4) 1-BEDROOM & (1) 2-BEDROOM
 5th FL (2) 3-BEDROOM
 17 TOTAL UNITS

PARKING CALC'S (PER RSIS)

1-BEDROOM 12 x 1.8 = 21.6 SPACES
 2-BEDROOM 3 x 2.0 = 6.0 SPACES
 3-BEDROOM 2 x 2.1 = 4.2 SPACES
 TOTAL = 31.8 SPACES

SAY = 32 SPACES

19 PHYSICAL SPACES
 +2 SPACES (ELEC. VEH. CREDIT)
 21 SPACES PROVIDED *

PARKING NOTES REGARDING E.V. SPACES

TOTAL PARKING SPACES REQUIRED: 32 SPACES
 15% OF THE TOTAL PARKING REQUIRED SHALL BE "MAKE READY" SPACES.
 32 SPACES x 15% = 4.8 SPACES = 5 SPACES REQUIRED.
 OF THE 5 SPACES REQUIRED TO BE "MAKE READY" SPACES, 1/3 SHALL BE INSTALLED.
 5 SPACES x 0.33 = 1.65 SPACES = 2 SPACES.

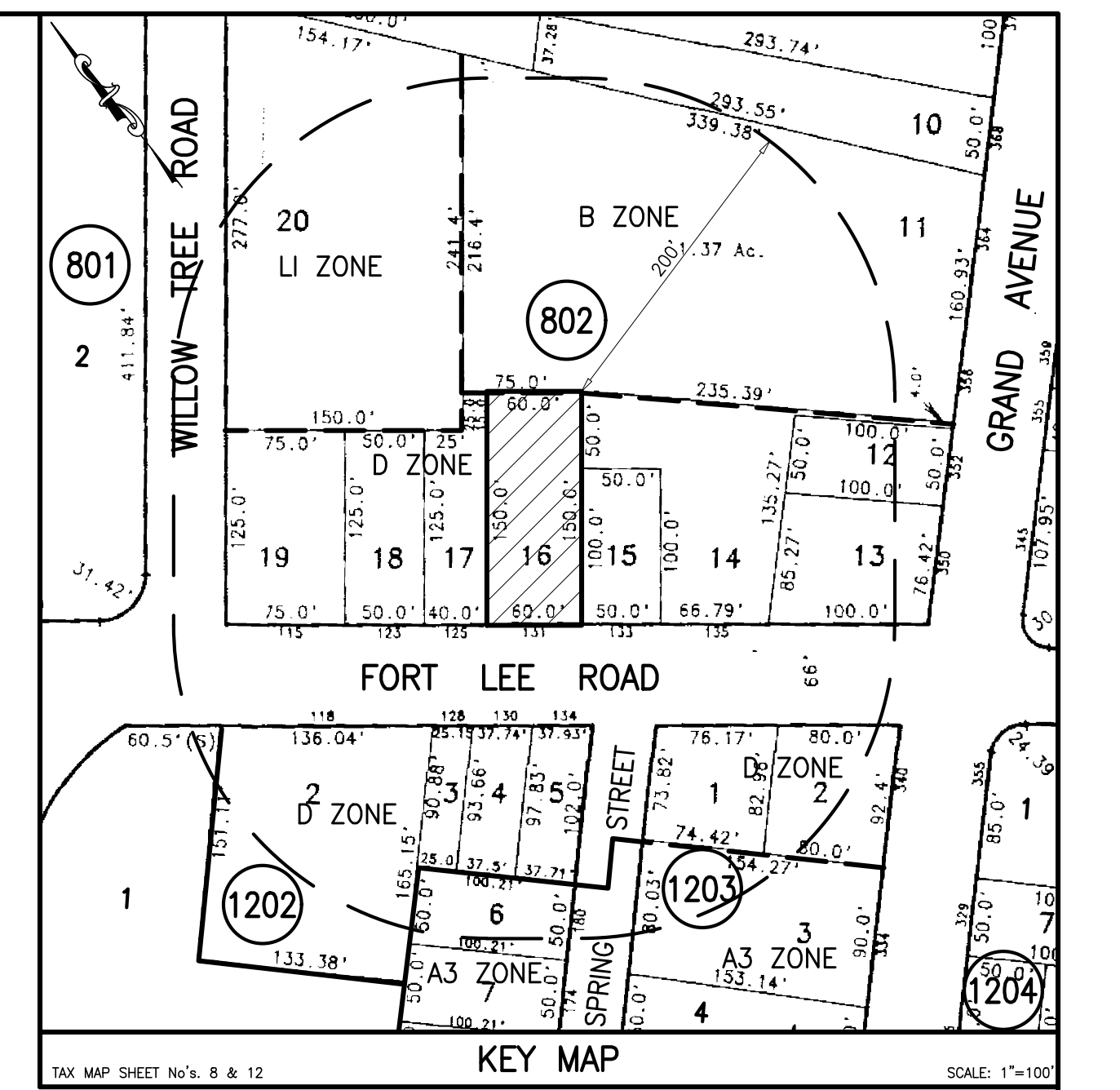
PROPOSING: 3 EV INSTALLATIONS
 2 MAKE READY INSTALLATIONS

DRAWING INDEX

3956-1 SITE PLAN
 3956-2 GRADING, DRAINAGE & UTILITY PLAN
 3956-3 SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS
 3956-4 LIGHTING & LANDSCAPING PLAN
 3956-5 LOCATION & TOPO SURVEY

REFERENCES

1) DEED BOOK 8793, PAGE 204.
 2) SURVEY OF PREMISES BY P & M SURVEYING, DATED 1-3-02.
 3) BOROUGH OF LEONA TAX MAPS.



ZONING NOTES

ZONE: D-BUSINESS PROPOSED RESIDENTIAL BUILDING *

MIN. LOT AREA	REQUIREMENT	PROPOSED
MIN. LOT FRONTAGE	50 FT.	60.00 FT.
MIN. LOT DEPTH	100 FT.	150.00 FT.
MIN. FRONT YARD	0 FT.	2.61 FT.
MIN. SIDE YARD	10 FT.	3.00 FT. *
MIN. REAR YARD	10 FT.	28.64 FT. (1)
MAX. BLDG. COVERAGE	N/A	N/A
MAX. BLDG. HEIGHT	3 STY/36 FT.	5 STY / 61.27 FT. * (2)
MIN. DRIVEWAY WIDTH	24 FT.	24.00 FT.
MIN. DIST. BLDG. TO STREET	35 FT.	35.61 FT.

(ORD. 290-54) MIN. DIST. BLDG. TO STREET

N/A = NO REQUIREMENT.
 * VARIANCE REQUIRED.
 (1) REAR YARD CALC'S = 10 FT + 0.5*(61.27-24) = 28.64 FT.
 (2) HIGHEST POINT OF ROOF.

GENERAL NOTES

- TOTAL LOT AREA = 9,000.00 S.F. (0.207 ACRES.)
- ELEVATIONS BASED ON NAVD 88. ADD 1.0' TO CONVERT TO NAVD 29.
- LOCATION OF UNDERGROUND UTILITIES BASED ON FIELD MARK OUT BY UTILITY COMPANIES.
- ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- INSTALL CLEANOUTS AT ALL BENDS IN ROOF DRAINS.
- EXISTING IMPERVIOUS ON SITE = 8,877 S.F.
 PROPOSED IMPERVIOUS ON SITE = 8,306 S.F.
 NET DECREASE = 571 S.F.
- MIN ROOF LEADERS SLOPES:
 6" = 1:10X
 4" = 2:10X
- THERE ARE NO KNOWN COVENANTS OR RESTRICTIONS OF RECORD ON THE PROPERTY.
- THERE ARE NO ROCK OUTCROPS OR WATERCOURSES ON SITE.
- ALL SIGNS PROPOSED TO CONFORM TO SIGN ORDINANCE.
- SPEED LIMIT ON FORT LEE ROAD: 25 MPH.
- STATE PLANE COORDINATES TO BE OBTAINED BY GLOBAL POSITIONING SYSTEM (GPS).
- THE CONTRACTOR SHALL NOTIFY THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS (MR. GARY HEEMER AT 336-6815) AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION EFFECTING A COUNTY ROAD AND/OR COUNTY DRAINAGE FACILITIES.
- ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE REMOVED SHALL BE REPLACED WITH NEW FULL HEIGHT CURB (9" AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- ANY PROPOSED PLANTINGS ALONG THE ACCESS DRIVEWAYS SHALL HAVE A MATURE HEIGHT OF (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.
- RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- IF A ROAD OPENING PERMIT IS REQUIRED, APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG THE COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-4.3). A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAP RAMP AND THE TYPE OF TRUNCATED CONE SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE, PERSUANT TO TITLE 27-16-B. THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURBLES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S DESIGN AND CONSTRUCTION PLAN STANDARDS.
- ALL PAVEMENT MARKINGS/STRIPIES WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPBELL FOUNDRY PATTERN No. 2617), AND "N-ECO" CURB PIECES (CAMPBELL FOUNDRY PATTERN No. 2618). ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-15.
- ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- THE DESIGN ENGINEER CERTIFIES THAT THE SIGHT LINES COMING OUT OF THE DRIVEWAYS(S) MEET COUNTY SIGHT DISTANCE CRITERIA (THE DRIVER'S POSITION SHALL BE TEN (10) FEET BEHIND THE EDGE-OF-PAVEMENT, THE DRIVER'S EYE LEVEL SHALL BE THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. THE REQUIRED SIGHT LINE MINIMUM DISTANCE IS DETERMINED BY THE POSTED SPEED LIMIT.
- UNITS TO HAVE INDIVIDUAL HVAC UNITS.
- THERE ARE NO ONSITE EMPLOYEES PROPOSED.
- THERE ARE NO ONSITE EMPLOYEES PROPOSED.
- REFUSE TO BE HANDLED BY PRIVATE HAULER.

REVISIONS

NO.	REVISIONS	DATE	BY	CHKD
3	HEIGHT AND E.V. PARKING CALC'S	4-5-22	B.W.	M.J.H.
2	UPDATES BUILDING AND PARKING	1-5-22	B.W.	M.J.H.
1	MODIFIED LOT AREA IN GENERAL NOTES	11-3-21	B.W.	M.J.H.

SITE PLAN

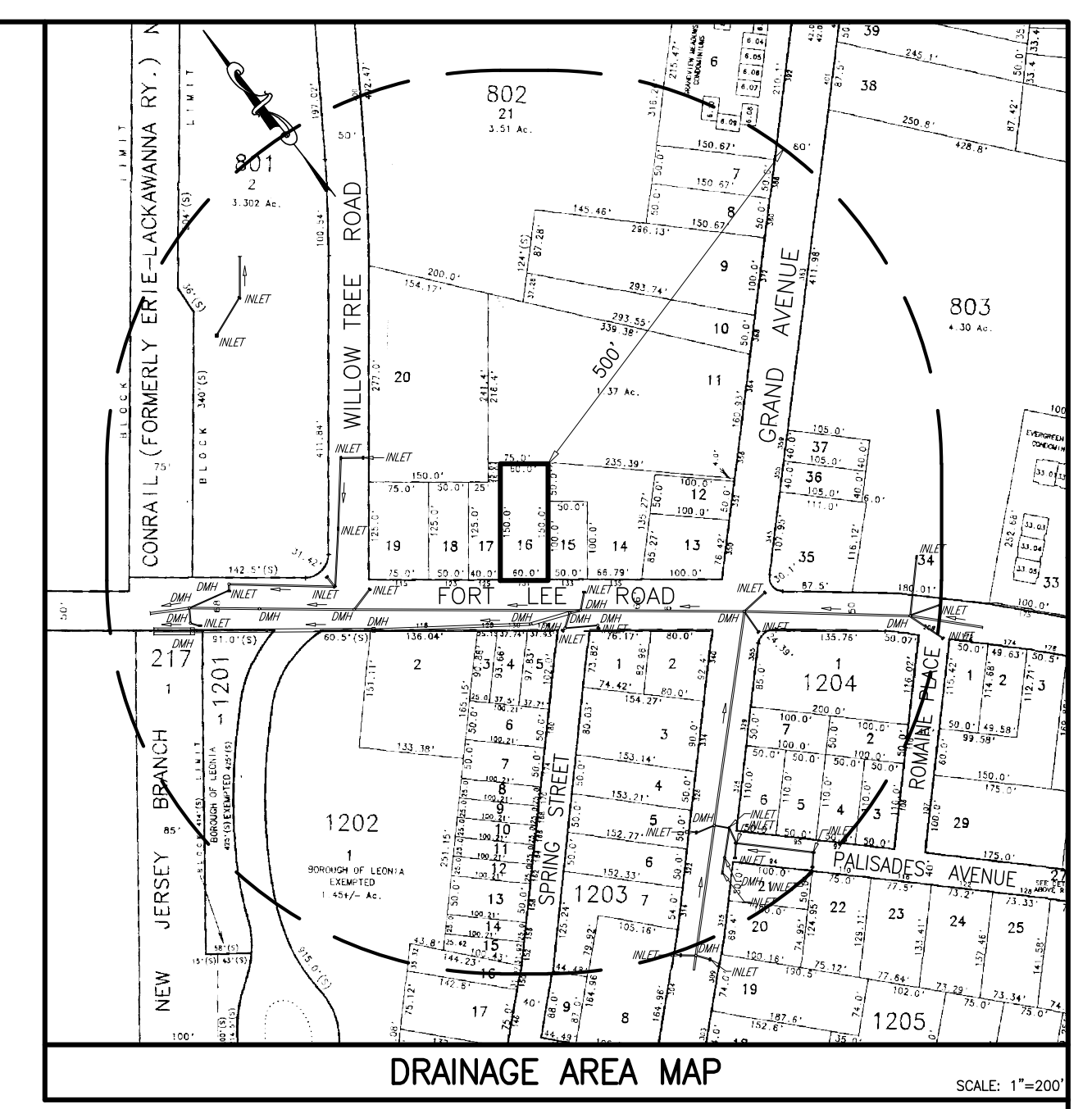
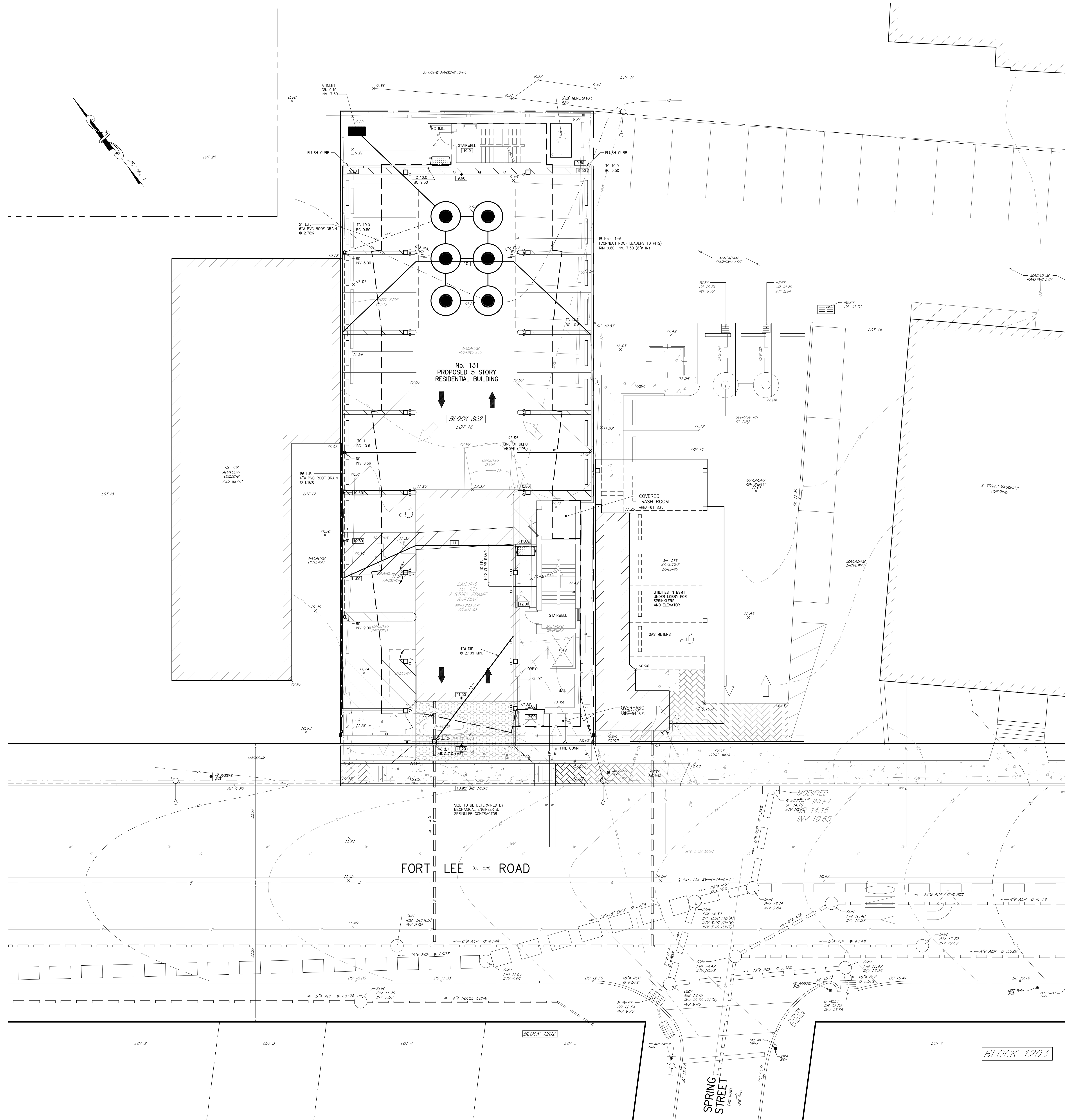
LOT 16 PROPOSED RESIDENTIAL APARTMENTS BLOCK 802
No. 131 FORT LEE ROAD
 BOROUGH OF LEONA BERGEN COUNTY NEW JERSEY

APPLICANT/OWNER: 131 FORT LEE ROAD LLC
 131 FORT LEE ROAD
 LEONA, NJ 07605

SCALE: 1"=10'

ROBERT J. MUELLER PROFESSIONAL LAND SURVEYOR N.J.P.L.S. No. 37206	MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. No. 29497 N.J.P.P. No. 3200	HUBSCHMAN ENGINEERING, P.A. ENGINEERS - PLANNERS - SURVEYORS 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621 201-384-5666	DRAWN BY: B.W. CHKD BY: M.J.H. SCALE: 1"=10' DRAWING NO: 3956-1 REV: 3
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DATE: 5-14-21



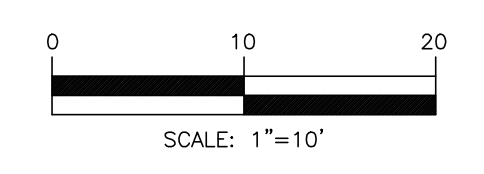
WATER DEMAND CALC'S
(Basis: Requirements for High-Rise)

12 1-BR x 80	= 960 G.P.D.
3 2-BR x 100	= 300 G.P.D.
2 3-BR x 160	= 320 G.P.D.
TOTAL	= 1,580 G.P.D.

- SANITARY SEWER NOTES**
- EXISTING SANITARY LATERAL TO BE TV INSPECTED PRIOR TO CONSTRUCTION AND AGAIN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. IN THE EVENT THAT THE EXISTING LATERAL IS NOT ADEQUATE, A SIX (6) INCH DIAMETER DUCTILE IRON CL22 PIPE SHALL BE USED.
 - SANITARY SEWER CALCULATIONS:
 PROPOSED 12 1-BR x 150 = 1,800 G.P.D.
 PROPOSED 3 2-BR x 225 = 675 G.P.D.
 PROPOSED 2 3-BR x 300 = 600 G.P.D.
 PROJECTED AVERAGE DAILY FLOW = 3,075 G.P.D.

APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: _____ DATE: _____



MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

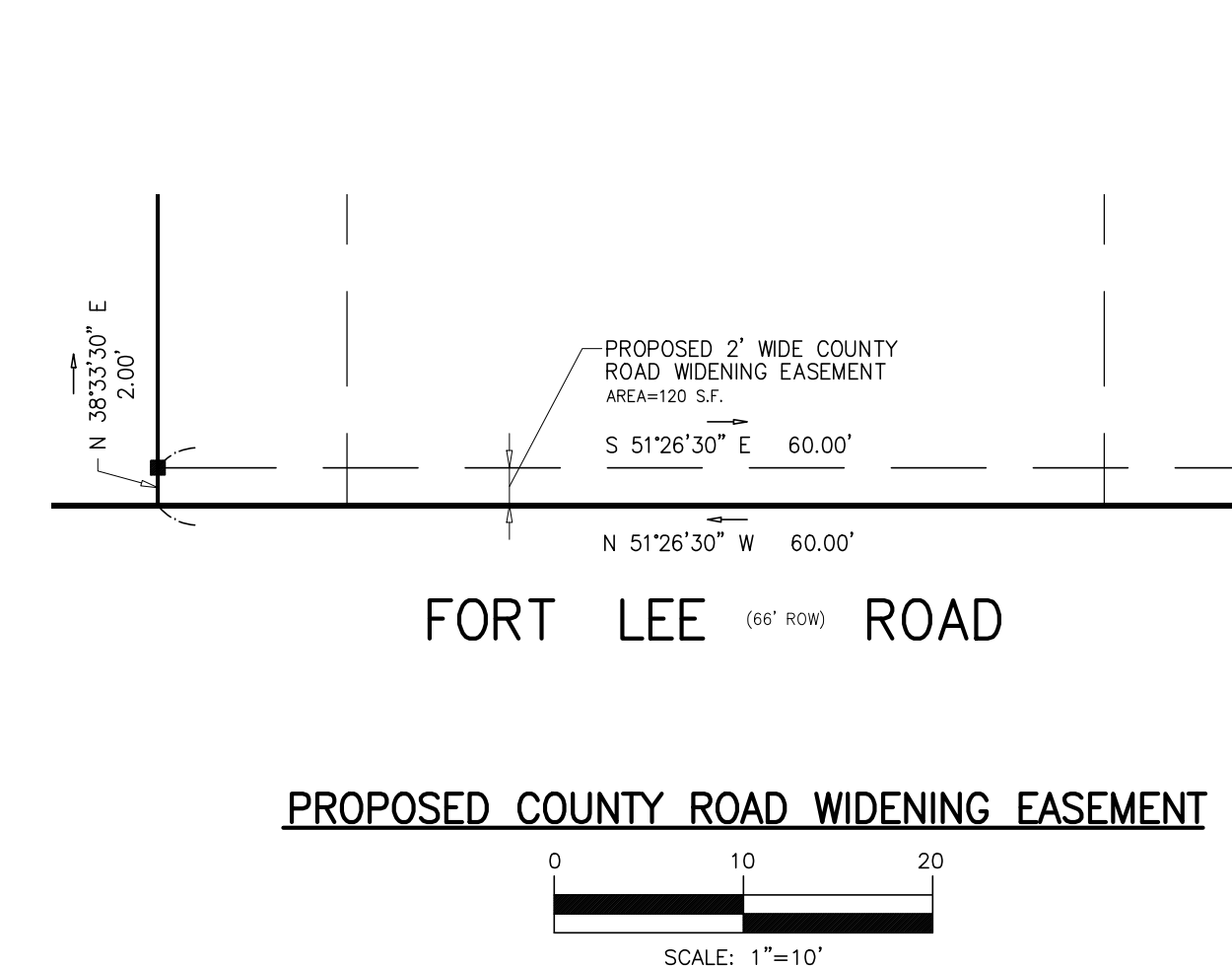
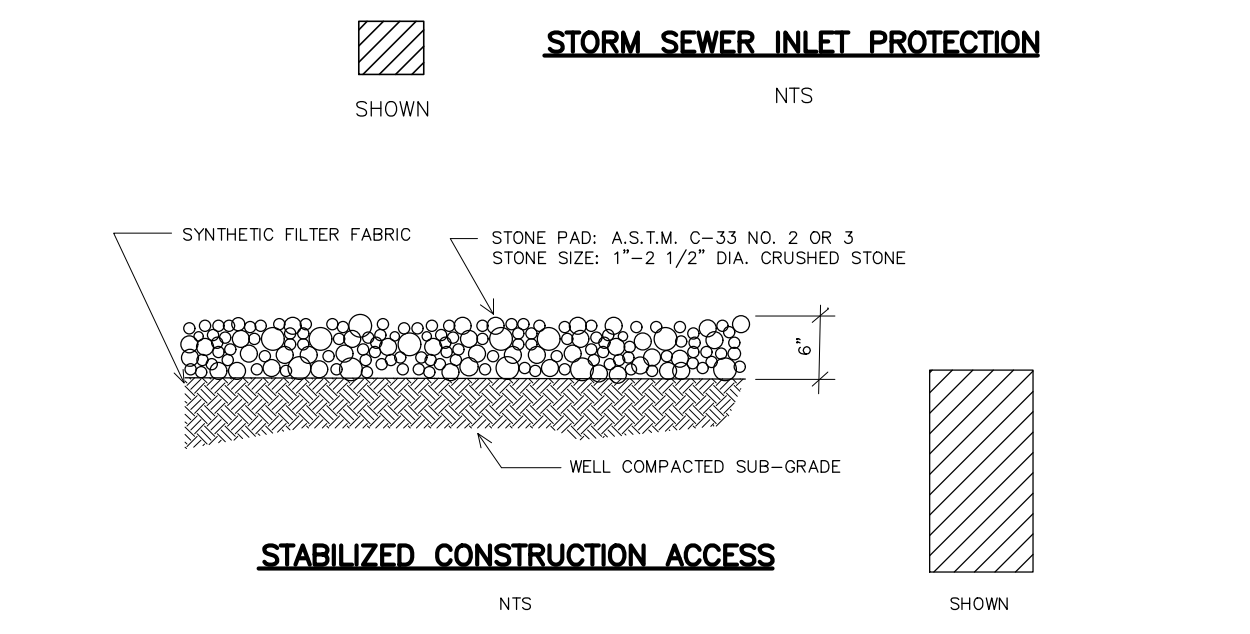
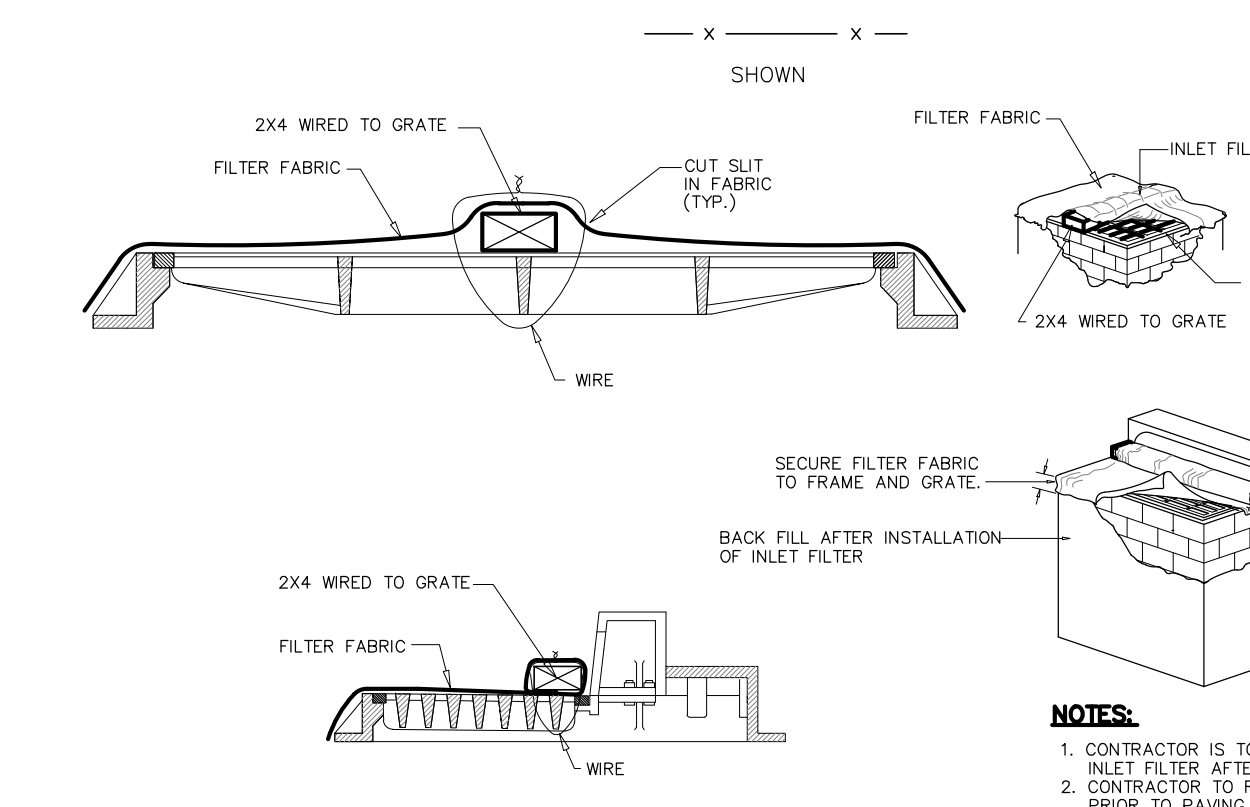
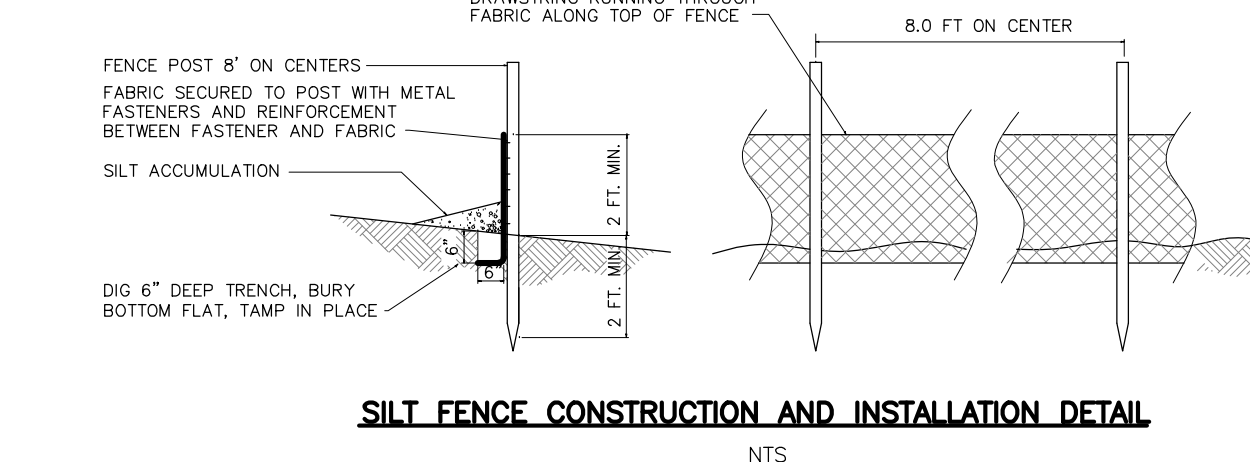
2	ADDED WATER DEMAND CALC'S, MODIFIED GRADING AND DRAINAGE	4-5-22	B.W.	M.J.H.
1	UPDATED BUILDING AND PARKING	1-5-22	B.W.	M.J.H.
NO.	REVISIONS	DATE	BY	CHKD
GRADING, DRAINAGE & UTILITY PLAN				
LOT 16		PROPOSED RESIDENTIAL APARTMENTS		BLOCK 802
No. 131 FORT LEE ROAD				
BOROUGH OF LEONIA		BERGEN COUNTY		NEW JERSEY
APPLICANT/OWNER: 131 FORT LEE ROAD LLC 131 FORT LEE ROAD LEONIA, NJ 07625				
DRAWN BY: B.W.		CHECKED BY: M.J.H.		SCALE: 1"=10'
DRAWING NO. 3956-2		REV. 2		DATE: 5-14-21
263A WASHINGTON AVE., BERGENFIELD, NJ 07621 201-384-5666				

**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the erosion protection temporary seeding, the disturbed area will be mulched with untreated straw at a rate of 2 tons per acre anchored by approved methods (i.e. peg and tines, mesh netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications**
 - Temporary Seeding and Mulching
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 10 lbs./1,000 sq. ft. of 10-20-20 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise).
 - Seed - perennial ryegrass 100 lbs./acre (2.3 lbs./1,000 sq. ft.) or other approved species listed between August 15 and October 1.
 - Mulch - Untreated straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and tines, mesh netting, or liquid mulch binder).
 - Permanent Seeding and Mulching
 - Topsoil - A uniform application to an average depth of 2" minimum or 4" if firm in place is required.
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 10 lbs./1,000 sq. ft. of 10-20-20 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise).
 - Seed - Turf type tall fescue (base of 3 cultivars) 300 lbs./acre (8 lbs./1,000 sq. ft.) or other approved species great between March 1 and October 1.
 - Summer seeding require irrigation.
 - Mulch - Untreated straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and tines, mesh netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a hay bale sediment barrier or sil fence.
- A silt control fence, unless otherwise specified, shall be installed wherever a construction access road intersects any paved roadway. Silt barriers shall be composed of 1" x 2" crushed stone, 6" thick, with an area of 30' x 100' and should be underlain with a suitable synthetic material. The fabric and maintenance shall be in accordance with the NJ Standards.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" x 2" crushed stone or substitute prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Proper roadway must be kept clear at all times.
- Open space areas are to be protected with an area free designed in accordance with Section 28-11 of the NJ Standards.
- Storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Decontaminating operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Soil shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Times to remove after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 6-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater outfalls or off-site as a result of construction of the project.
- Any reason for the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County 620, 100 Independence Road, Suite 508, Orange, NJ 07066, Tel: 201-381-4420, Fax: 201-381-7273.
- The Bergen County Soil Conservation District may require additional measures to minimize on- or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week notice to facilitate the scheduling of all report of compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

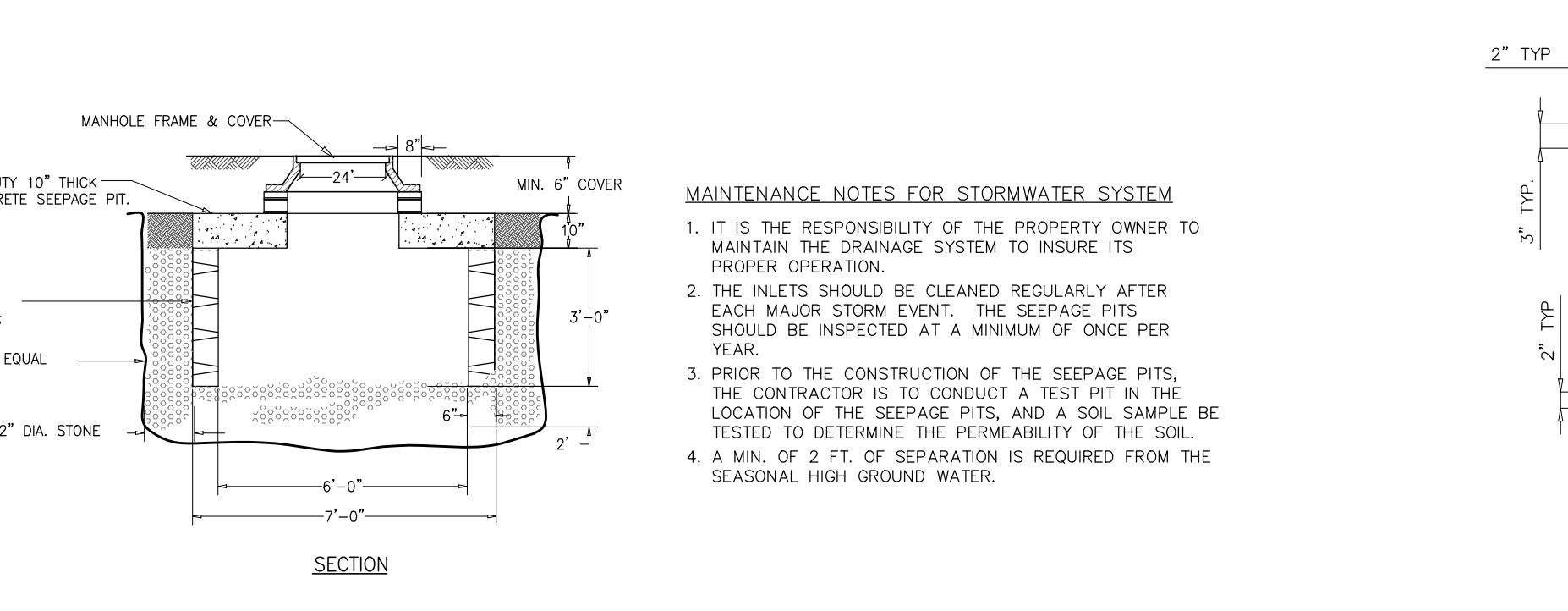
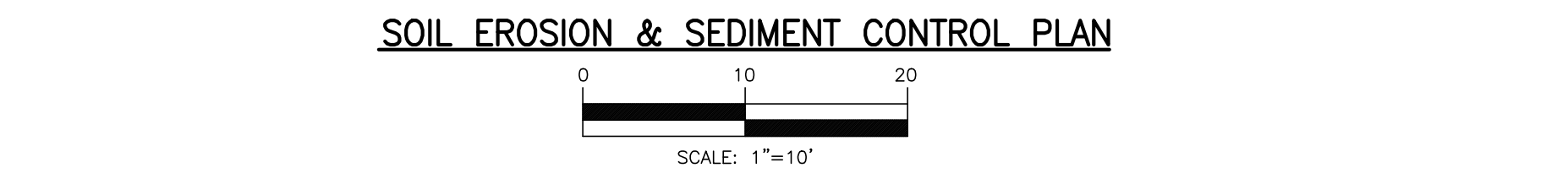
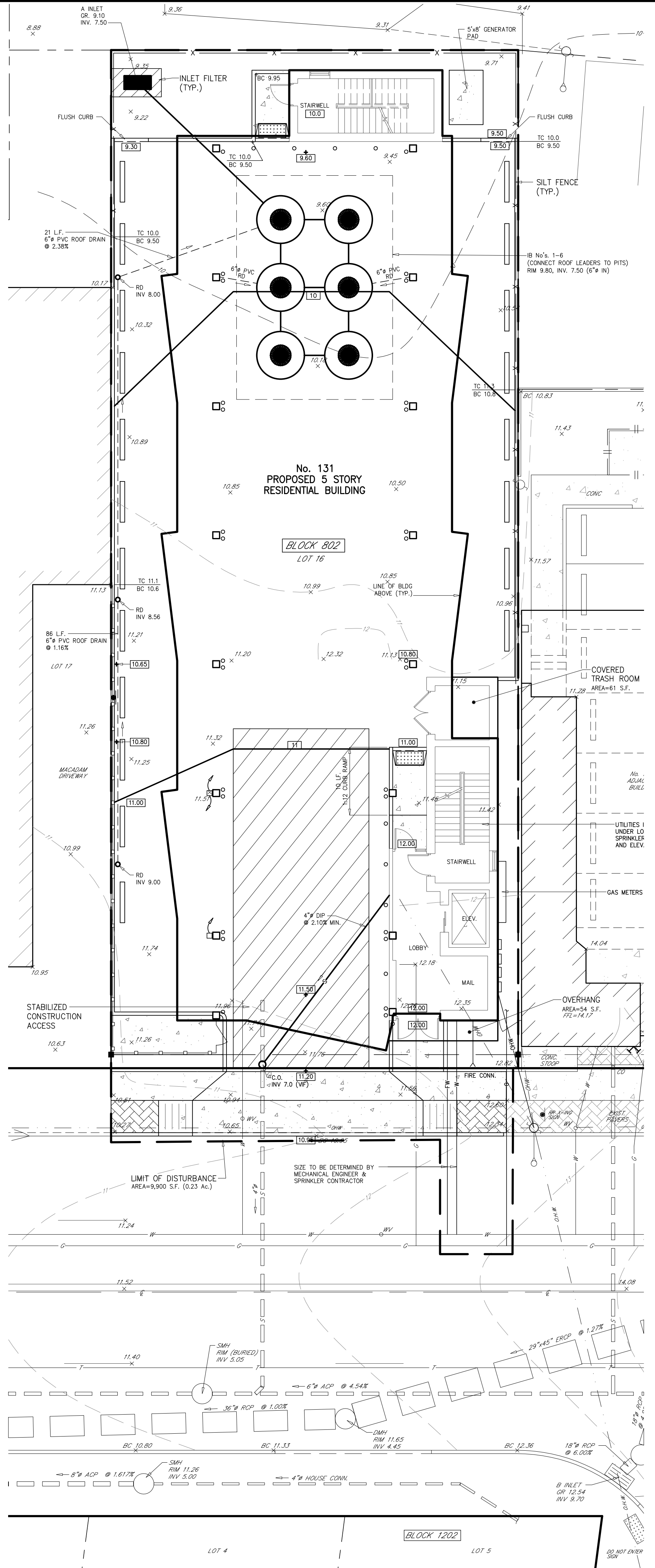
SEQUENCE OF CONSTRUCTION

- INSTALL 22"x30" TRACKING BED AT CONSTRUCTION ENTRANCE
- INSTALL SILT FENCE, FLOOD PROPERTY SUBJECT TO SOIL EROSION
- INSTALL INLET FILTER PROTECTION WHERE APPLICABLE
- DEMOLISH EXISTING DWELING
- REMOVE TOPSOIL AND STABILIZE
- PROVIDE REDUCED GRADING SITE
- EXCAVATE FOR NEW BUILDING, DRIVEWAY, AND UTILITIES
- CONSTRUCT NEW BUILDING, PROVIDE FINEST GRADE
- COURSE ON DRIVEWAY, PROVIDE FINAL GRADING, TOPSOIL REPLACEMENT, AND LANDSCAPING
- PROVIDE FINAL PAVING
- REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE.



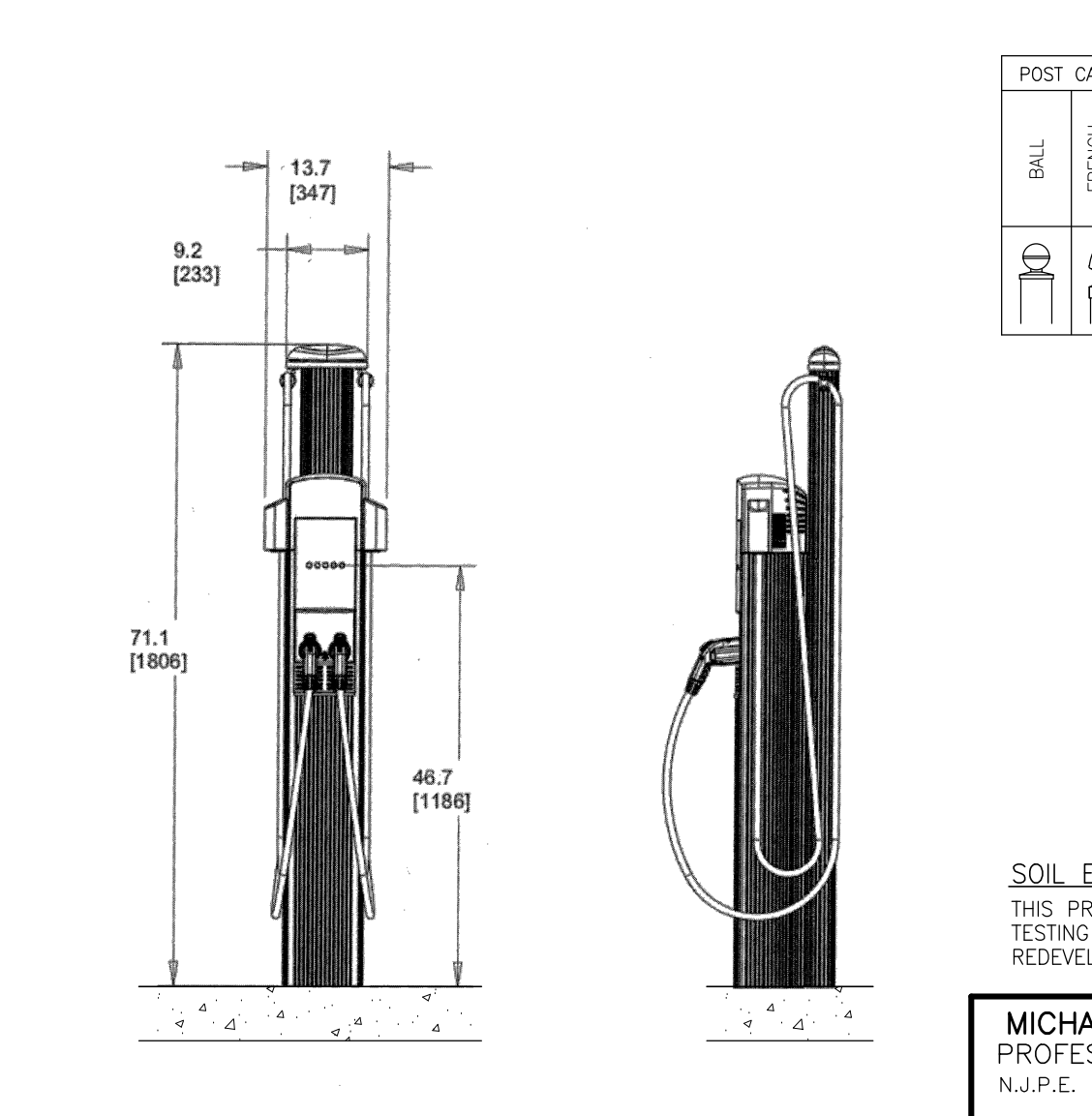
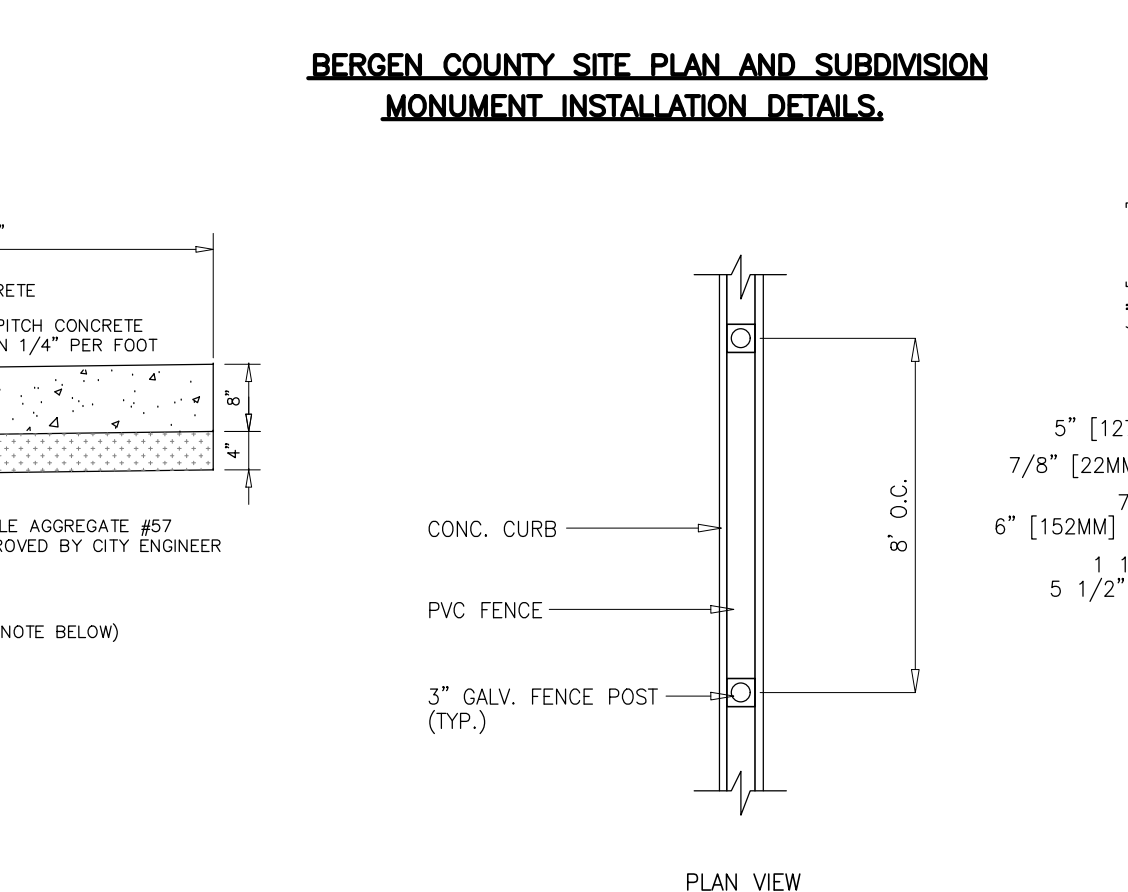
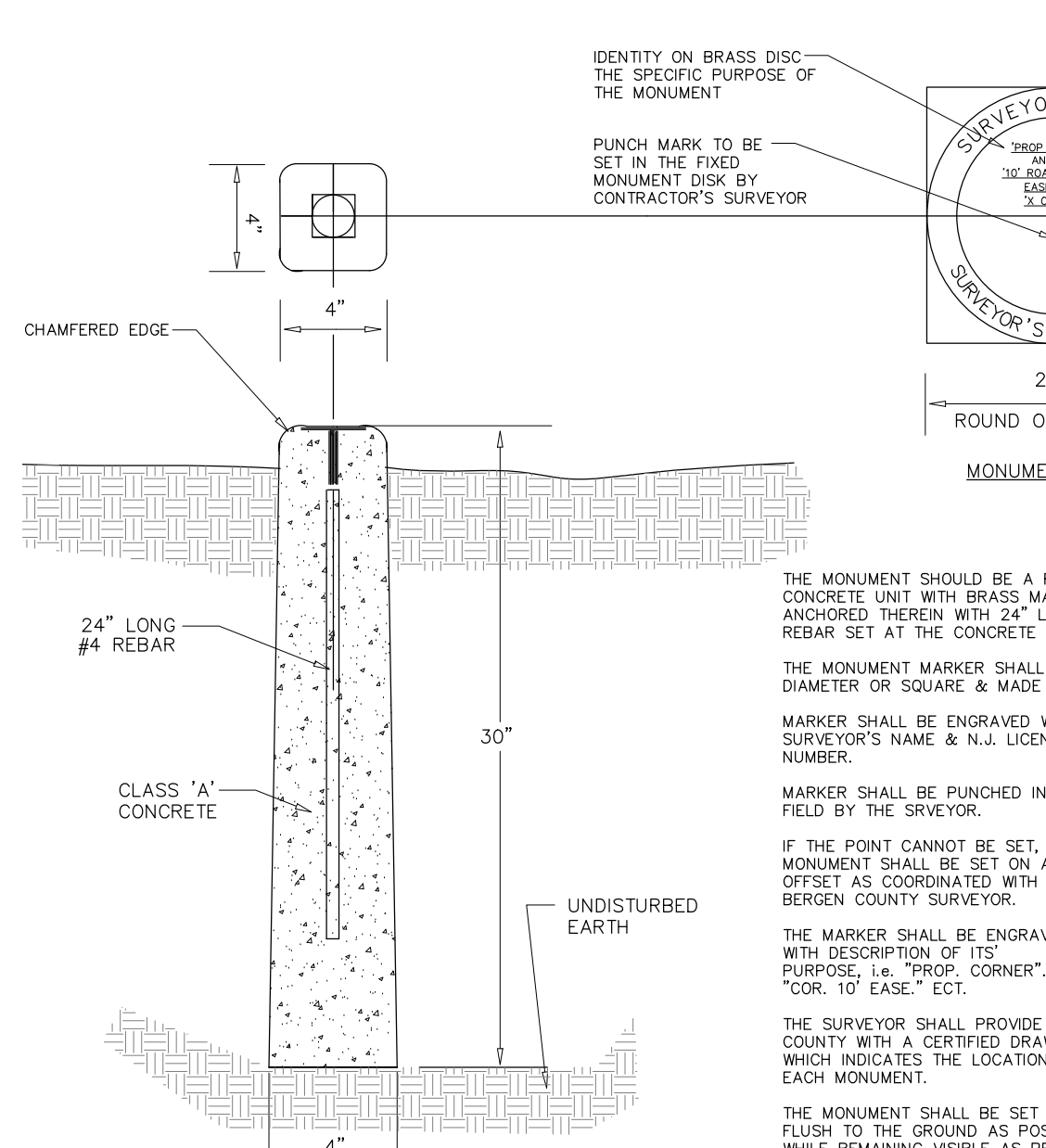
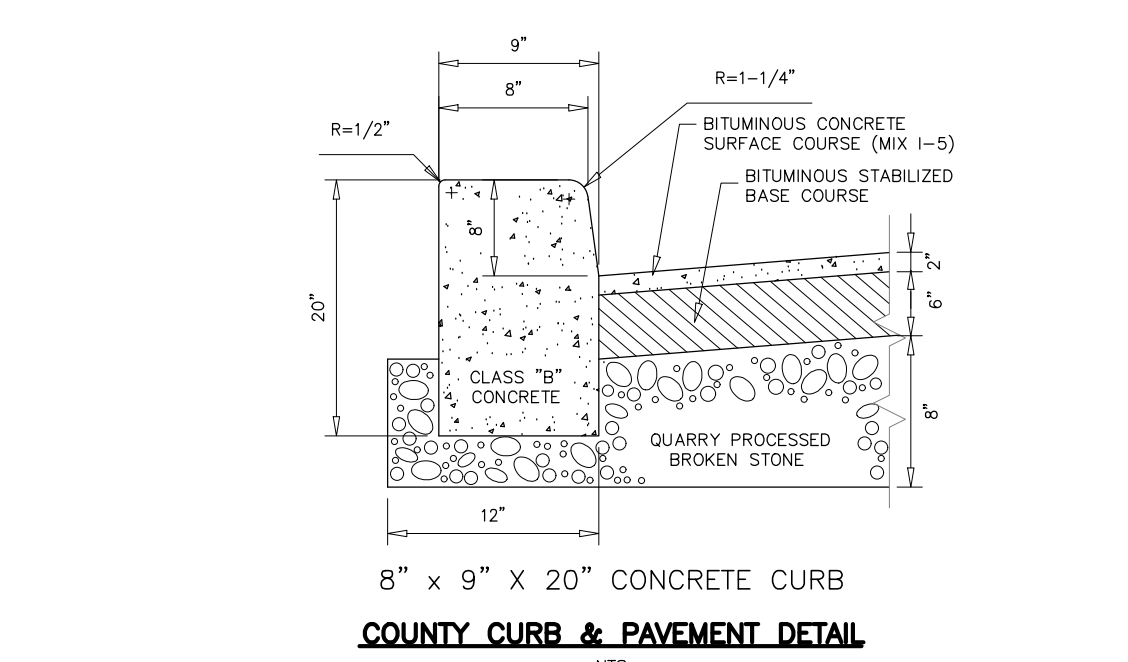
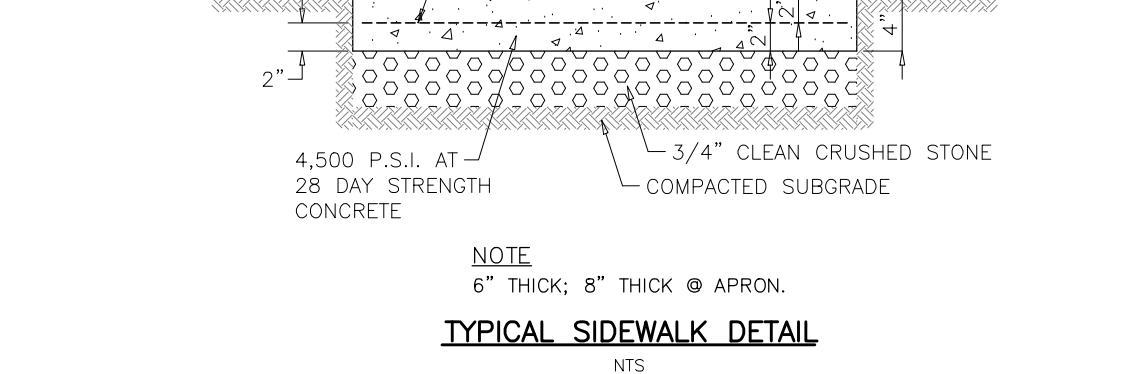
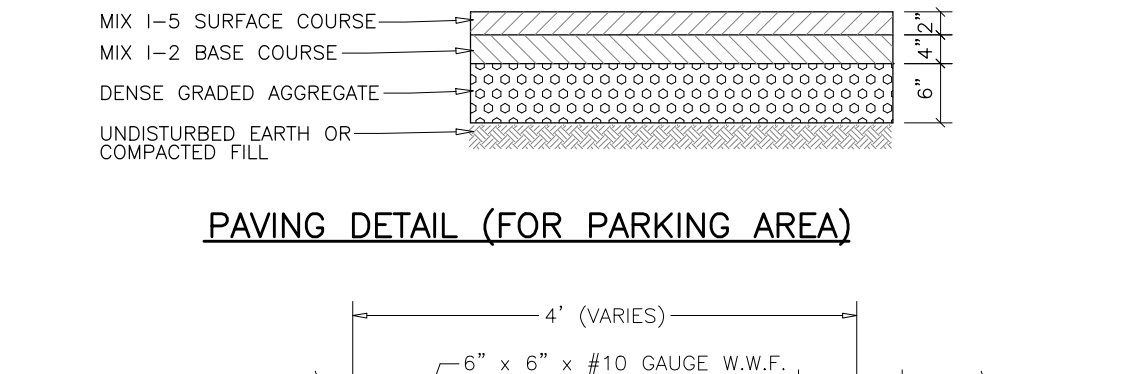
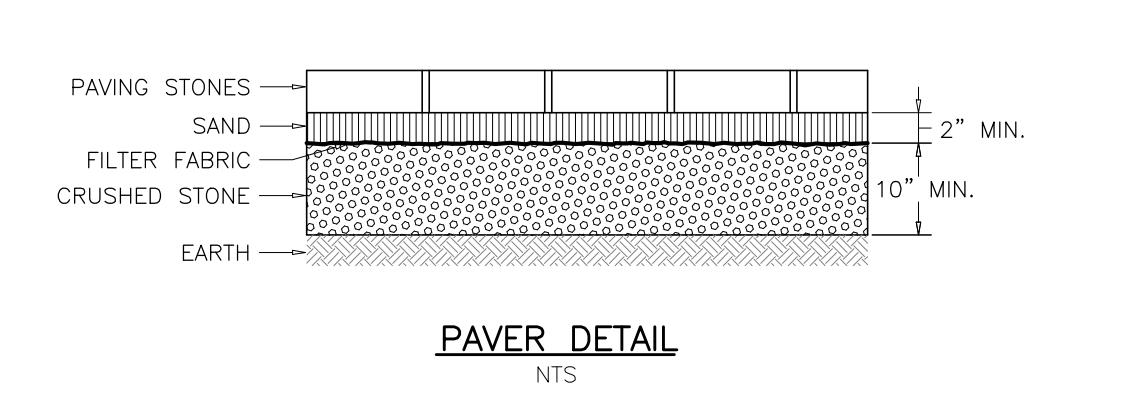
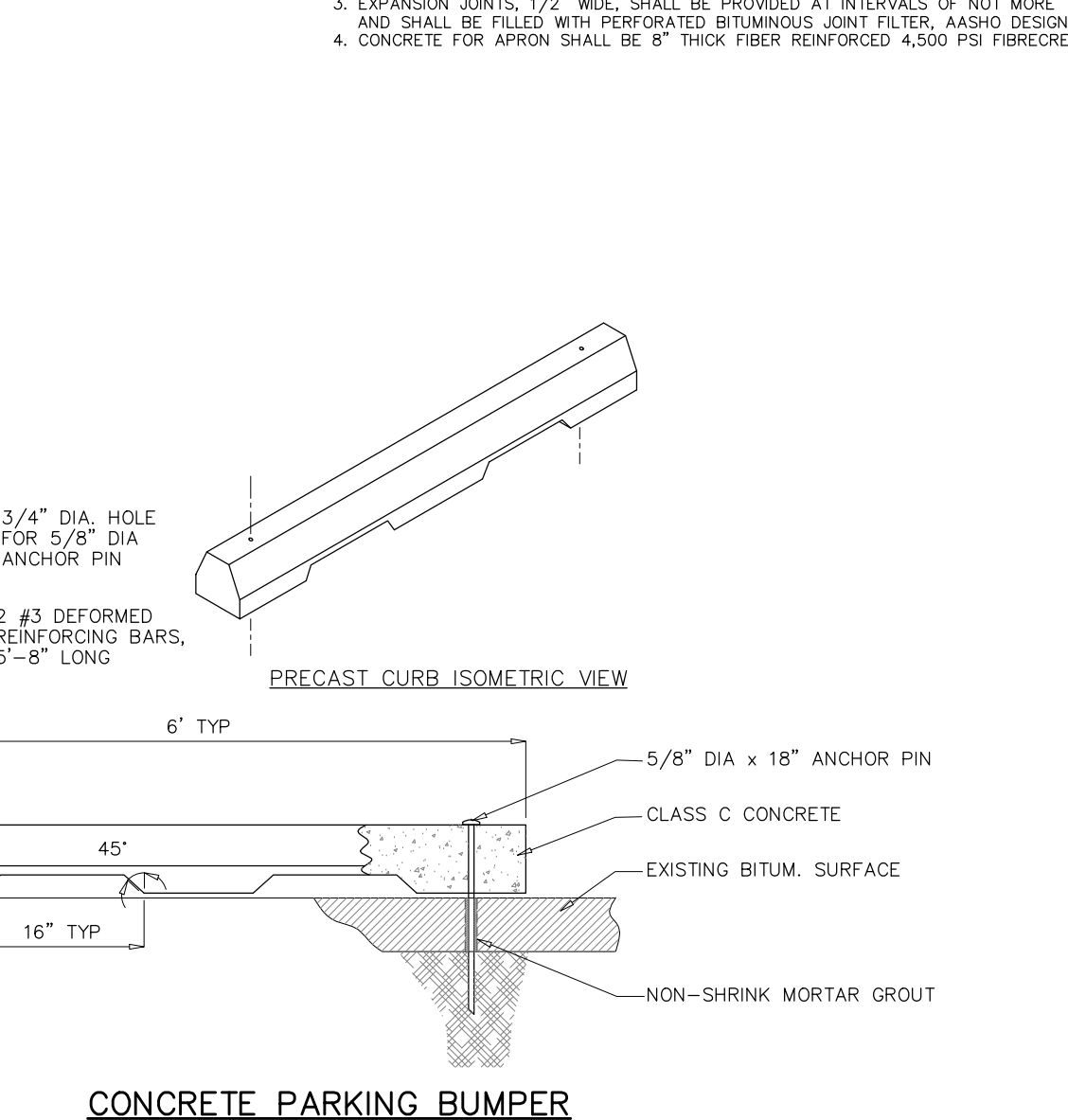
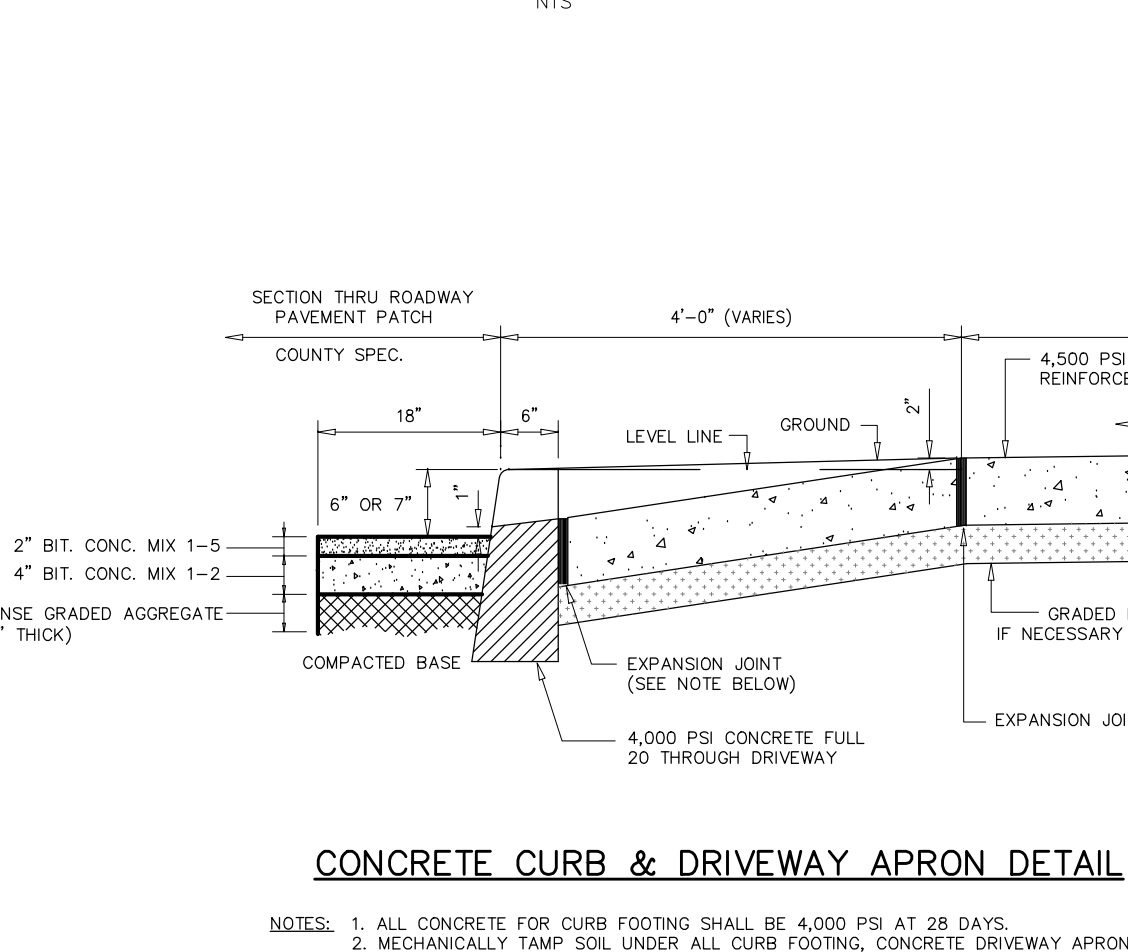
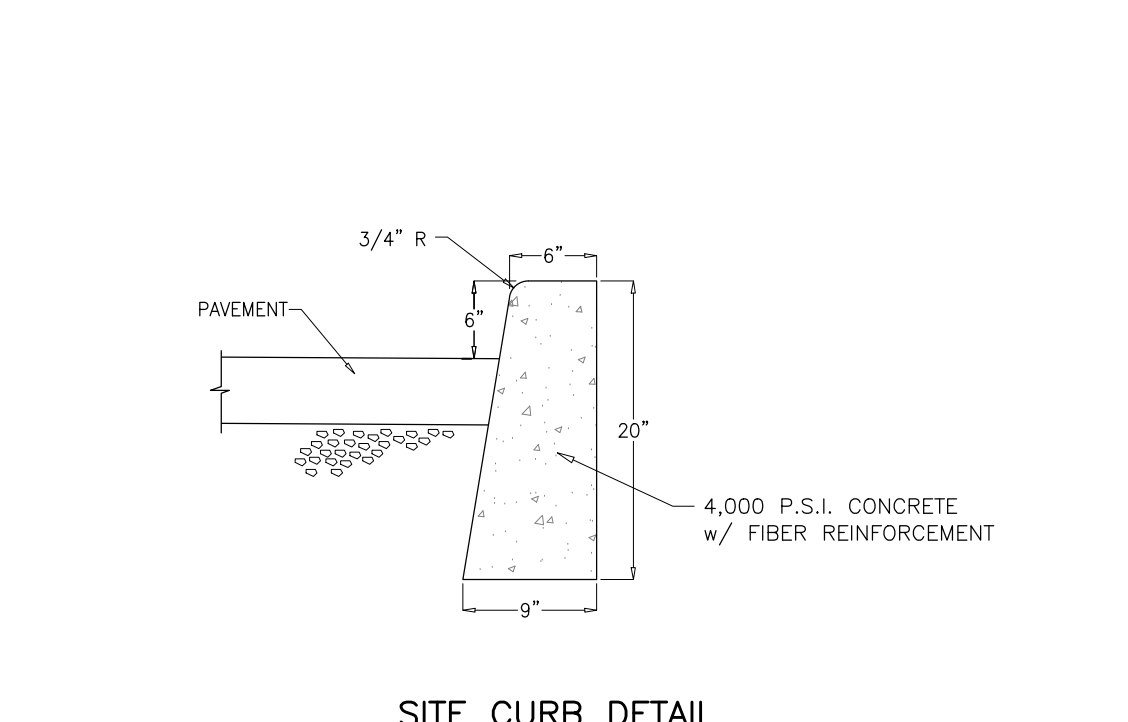
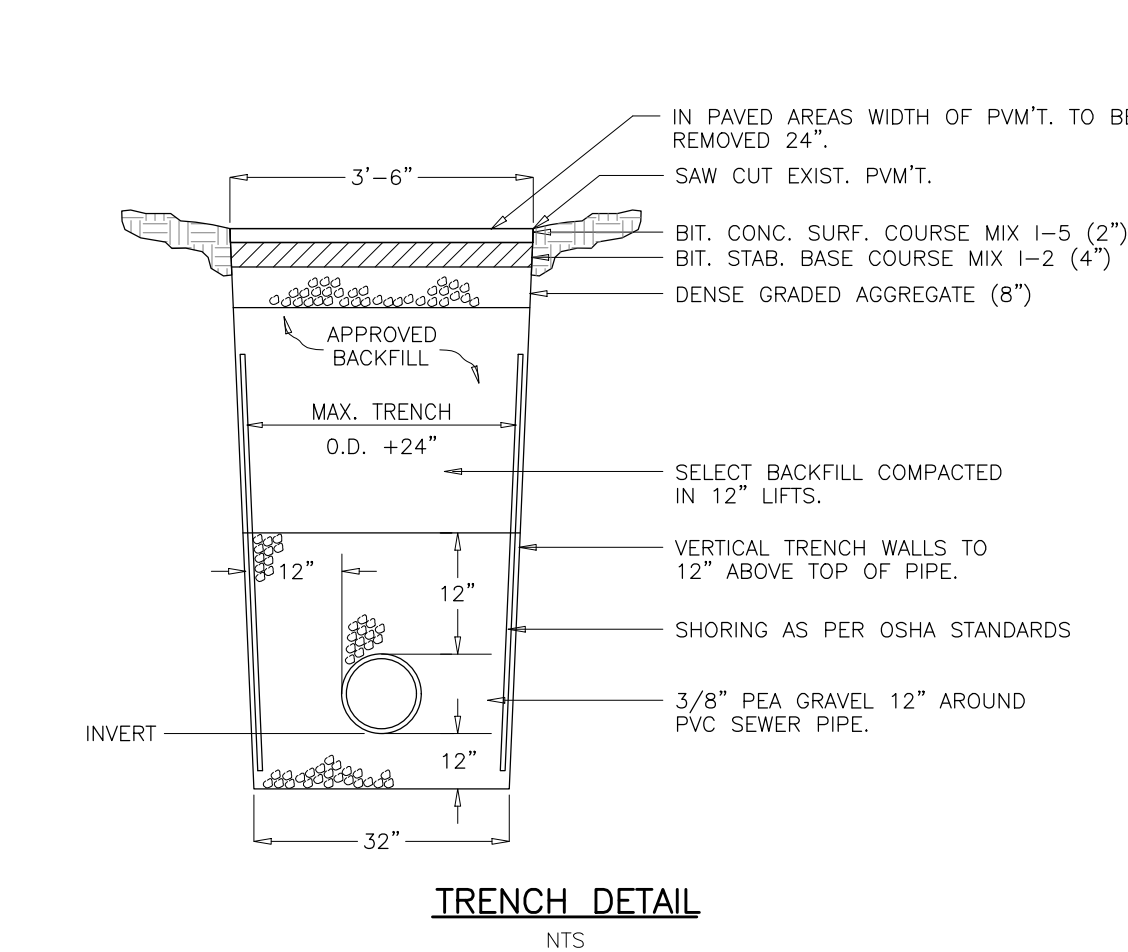
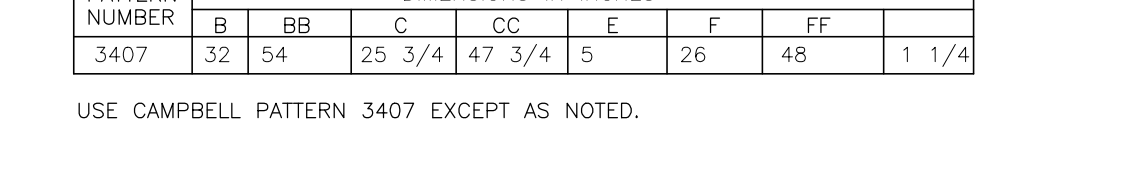
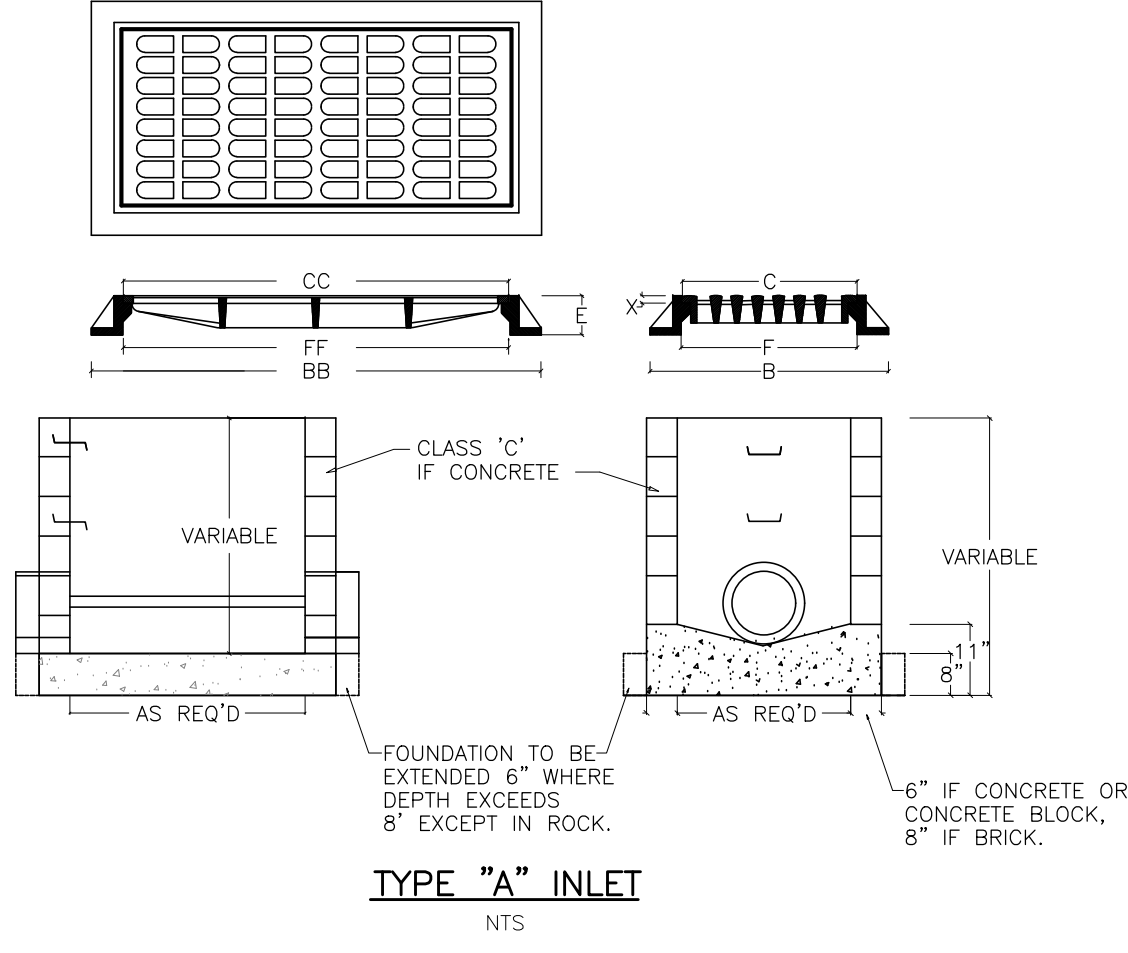
APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: DATE:



MAINTENANCE NOTES FOR STORMWATER SYSTEM

- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN THE DRAINAGE SYSTEM TO INCLUDE ITS PROPER OPERATION.
- THE INLETS SHOULD BE CLEANED REGULARLY AFTER EACH MAJOR STORM EVENT. THE SEEPAGE PITS SHOULD BE INSPECTED AT A MINIMUM OF ONCE PER YEAR.
- PRIOR TO THE CONSTRUCTION OF THE SEEPAGE PITS, THE CONTRACTOR IS TO CONDUCT A TEST PIT IN THE LOCATION OF THE SEEPAGE PITS, AND A SOIL SAMPLE BE TESTED TO DETERMINE THE PERMEABILITY OF THE SOIL.
- A MIN. OF 2 FT. OF SEPARATION IS REQUIRED FROM THE SEASONAL HIGH-GROUND WATER.



BERGEN COUNTY DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

JOINT REPORT ADDENDUM

In accordance with N.J.S.A. 40A:11-18 only manufactured products of the United States, wherever available, shall be used for work to be performed, as noted in Section C of the attached Joint Report, in the County right-of-way or other property belonging to the County.

Curb Specifications

Curbs shall be Bergen County standard 8" x 9" x 20" with an 8" vertical face, or as required in the attached Joint Report. Curb shall be shaped and with joints as noted on standard detail drawing. Curb grades shall be set so that the new pavement widening shall be a 2% cross slope from the edge of the existing pavement to the new curb line.

Concrete shall be Class B air entrained. Cement shall be Type II or as approved by the County Engineer.

Road Specifications

Minimum specifications for pavement to be installed on the subject County road(s) are as follows:

- Sub-grade shall be shaped and compacted and when finished, it shall conform to the required grade and contours then
- Eight (8") inches of dense graded aggregate base course; then
- Six (6") inches of superpave hot mix asphalt base course 19M64 in 2-8" lifts; then
- Two (2") inches of superpave hot mix asphalt surface course 32.5M64.

All as specified in Section 401 of the 2007 N.J.D.O.T. Standard Specifications.

The geometric shape of the newly installed pavement shall have a 2% slope from the edge of the existing pavement to the new curb line or proposed edge of pavement and shall conform to proper design as approved by the County Engineer.

Inspection

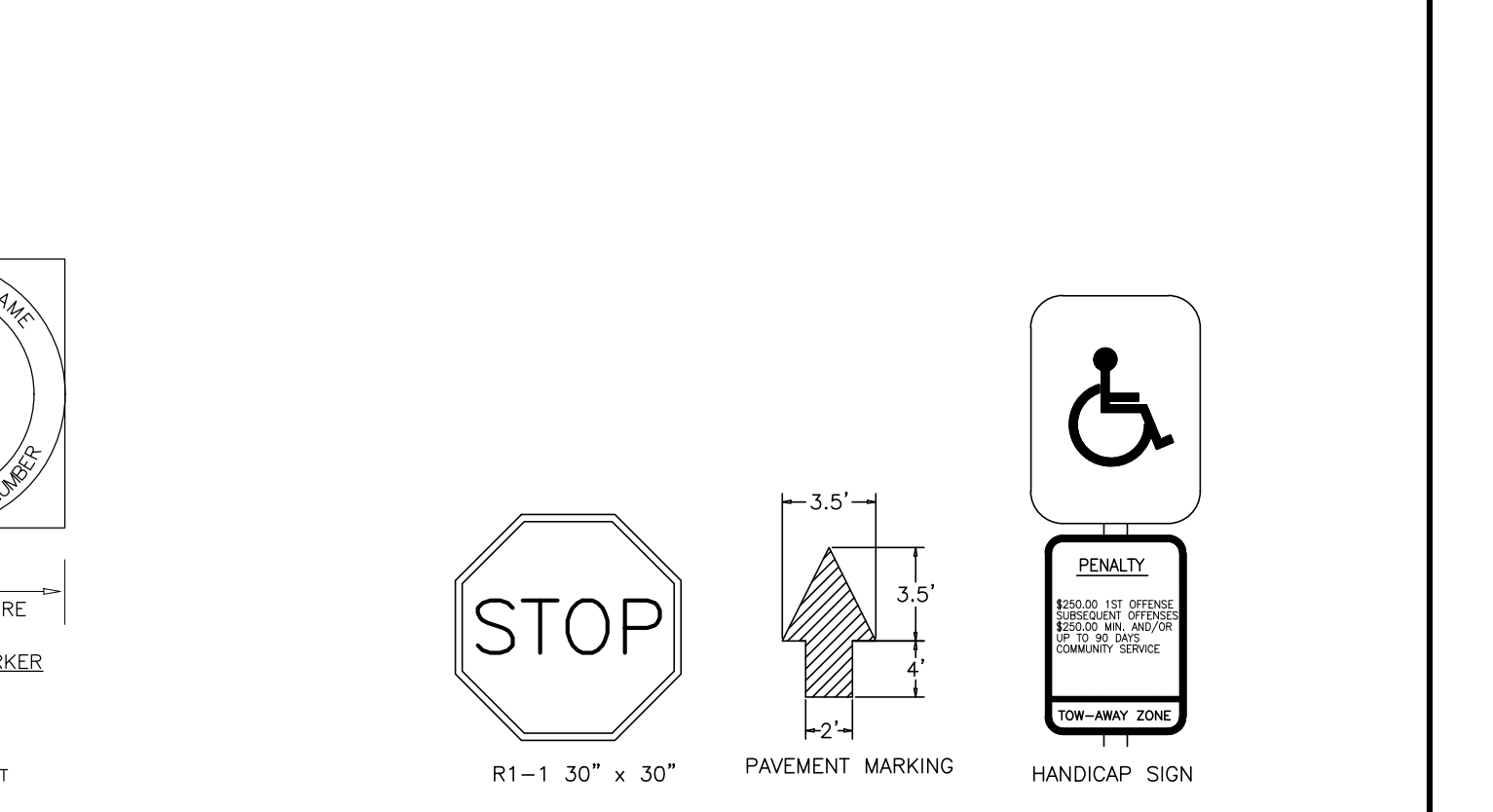
YOU ARE TO NOTIFY THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS (Gary Hamner @ 201-356-6815) AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AFFECTING COUNTY ROAD FACILITIES SO THAT THEY MAY HAVE AN INSPECTOR ON THE JOB DURING THE COURSE OF THE WORK.

If they are not notified and the work is completed without their inspection, certification by the Project Engineer as to the specifications used in construction will be required. You will be charged for any testing required by the County to confirm compliance with County specifications. Non-compliance with these specifications may result in complete rejection of work completed and a delay in the release of any performance guarantee.

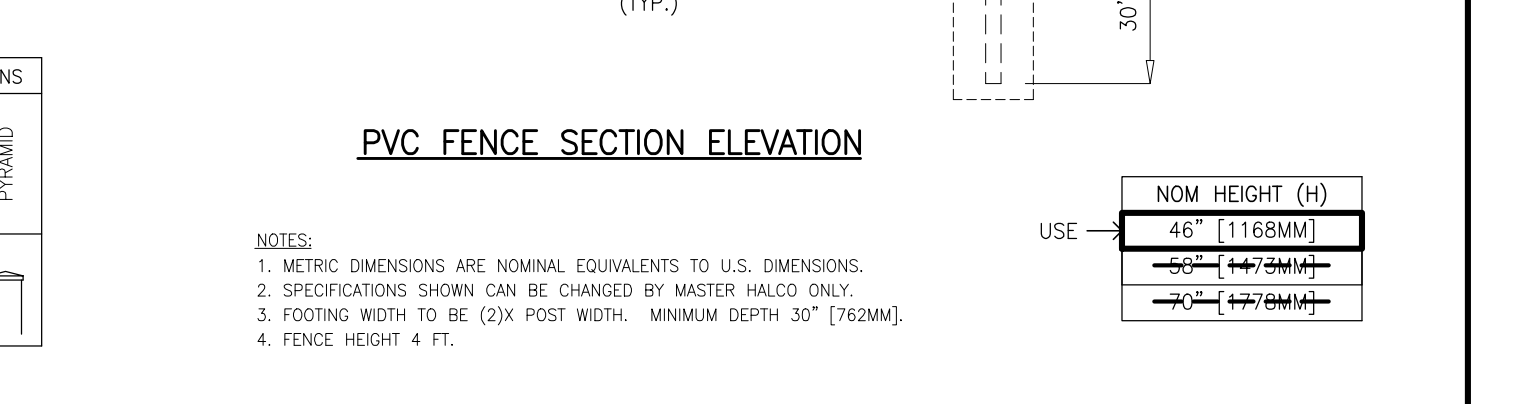
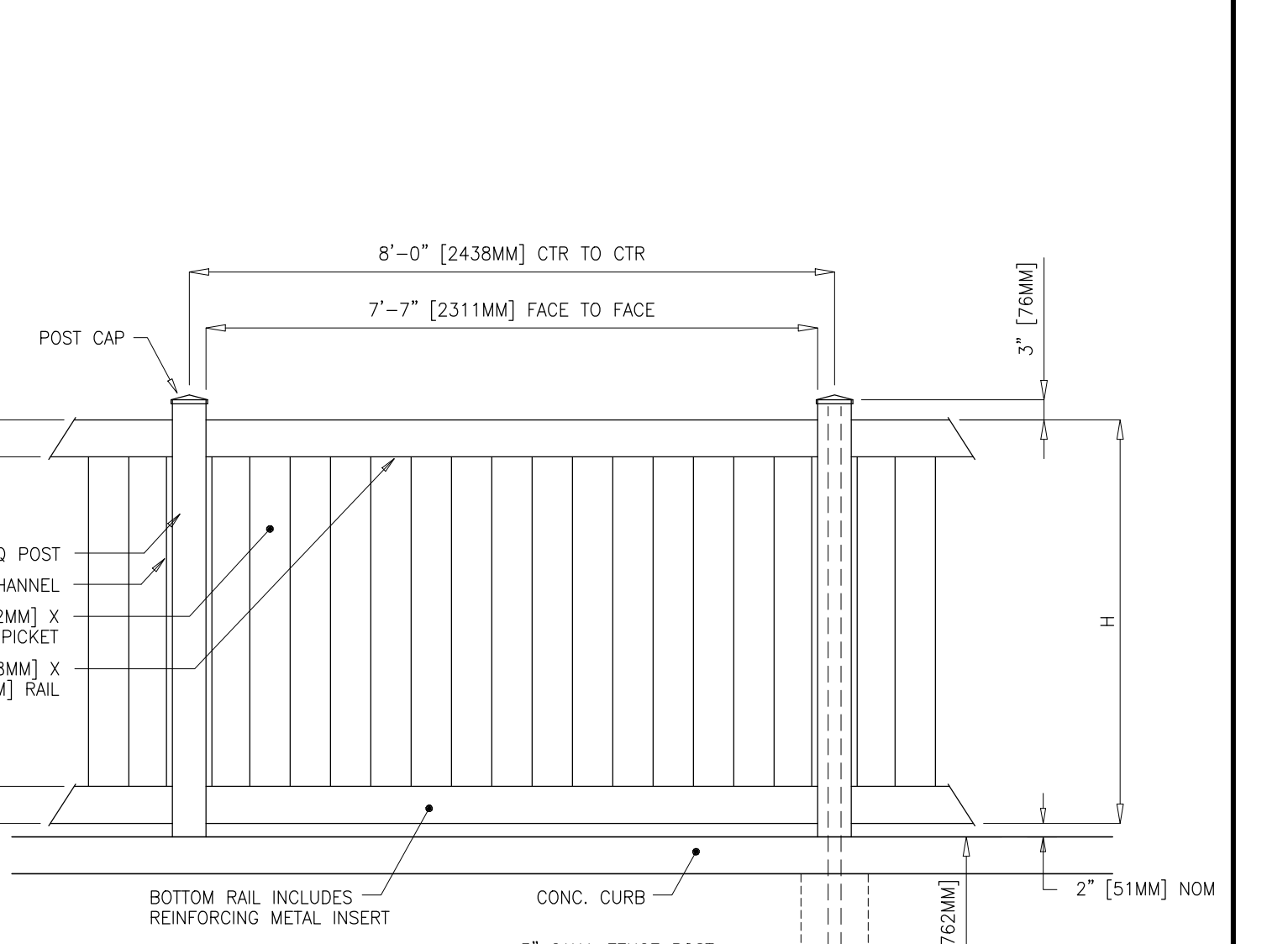
No work affecting County roads shall be done on Saturdays, or holidays without prior permission from the Bergen County Operations Division. Also, be advised that the opening of County roads for utility installations, whether these roads are bonded under this real estate development or not, will not be permitted during the period of November 15 to March 15, inclusive in accordance with Sections 18 B 14 of the Application for Road Opening Permit.

The County reserves the right to impose such traffic regulations and controls as may, from time to time be necessary to assure the efficient and safe movement of traffic on the County road.

Any revisions to work required in the County's right-of-way shall be submitted to the County Engineer's Office and Department of Planning for review and approval.



- SIGN NOTES:**
- HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.
 - ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE V) REFLECTIVE SHEETING AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. D.O.T., FEDERAL HIGHWAY ADMIN. 2000, AS REVISED, SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (DIAMOND GRADE CUBED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4000 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.



2	ADDED EV CHARGER, PVC FENCE, A INLET AND LB. DETAILS	4-5-22	B.W.	M.J.H.
1	UPDATED BUILDING AND PAVING	1-5-22	B.W.	M.J.H.
NO.	REVISIONS	DATE	BY	CHKD

SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS

LOT 16 PROPOSED RESIDENTIAL APARTMENTS BLOCK 802
No. 131 FORT LEE ROAD
BOROUGH OF LEONIA BERGEN COUNTY NEW JERSEY
APPLICANT/OWNER: 131 FORT LEE ROAD LLC
131 FORT LEE ROAD
LEONIA, NJ 07625

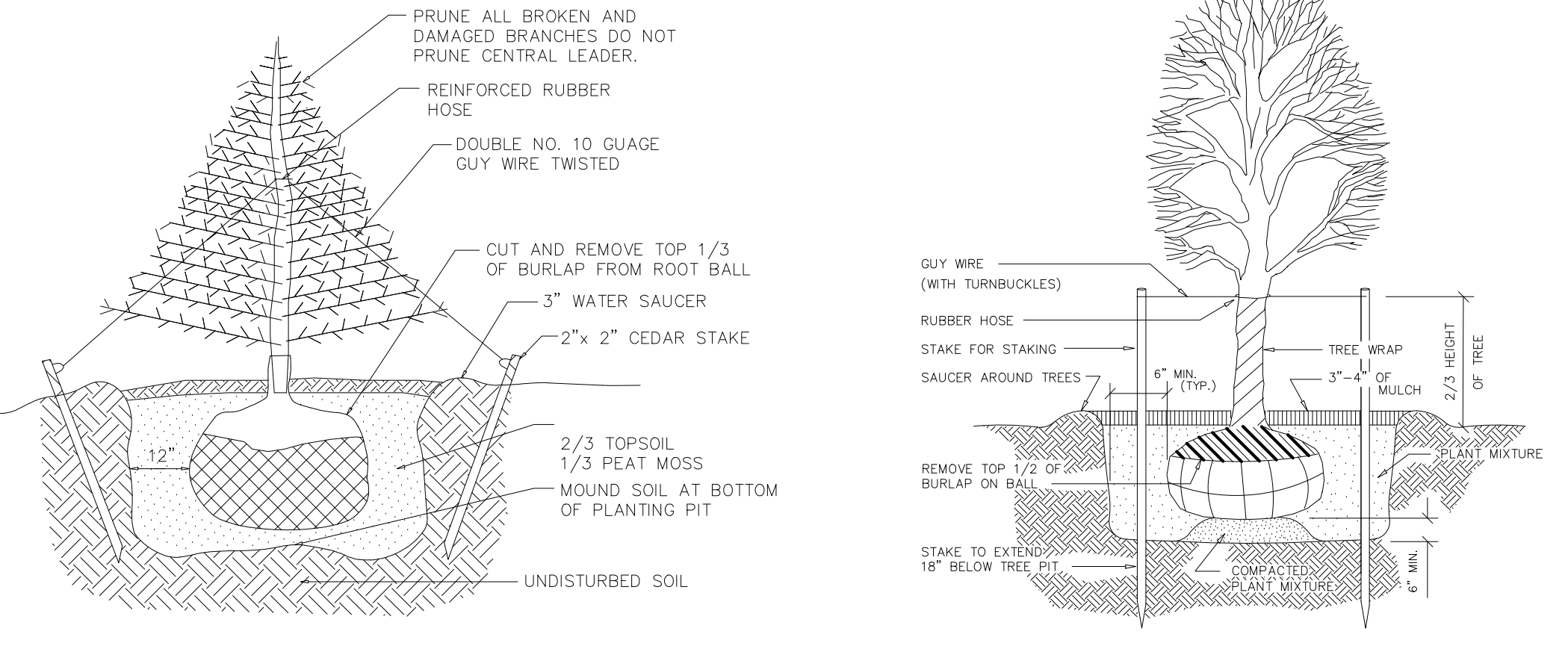
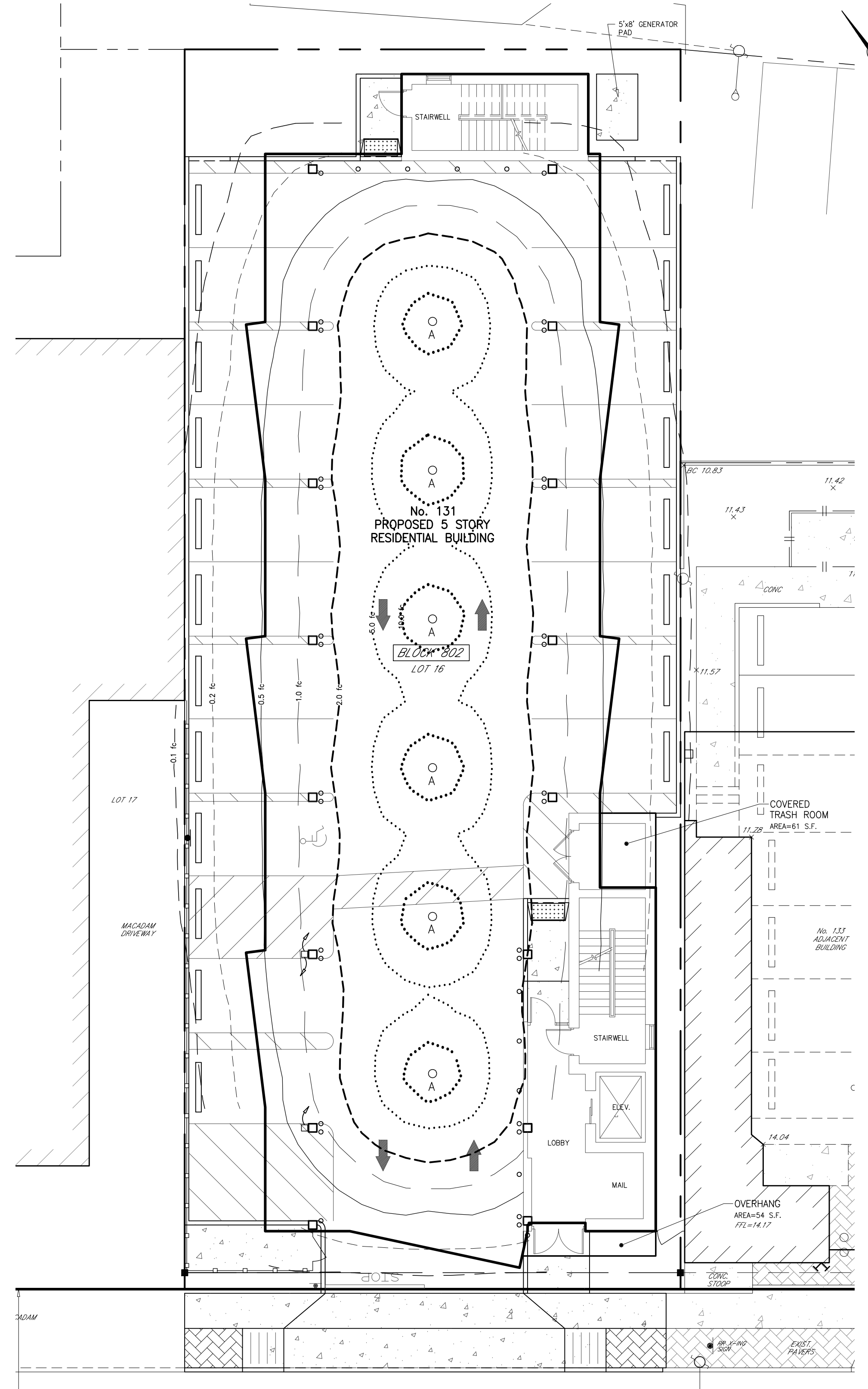
SOIL EROSION EXEMPTION NOTE:
THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

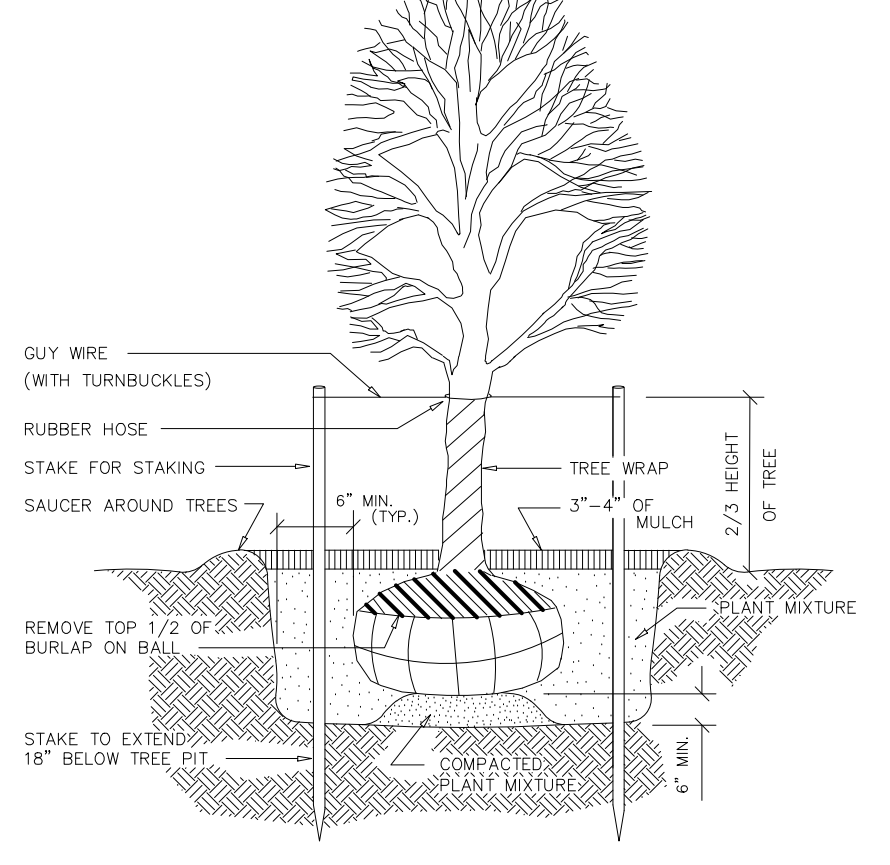
HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
243A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666

DRAWN BY: B.W.
CHKD BY: MJH
SCALE: 1"=10'
DRAWING NO.: 3956-3
REV: 2

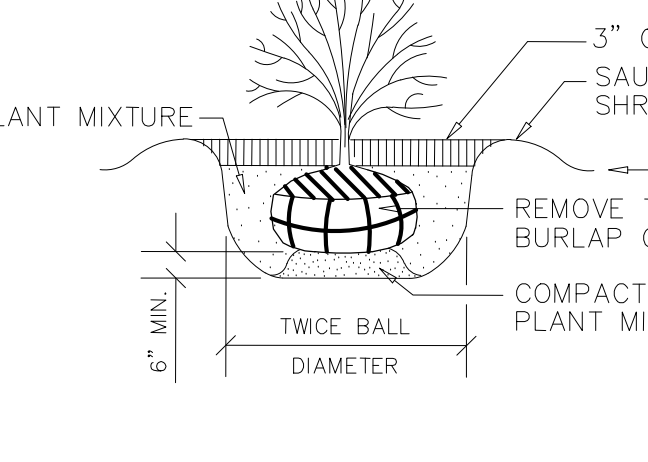
5-14-21
DWG



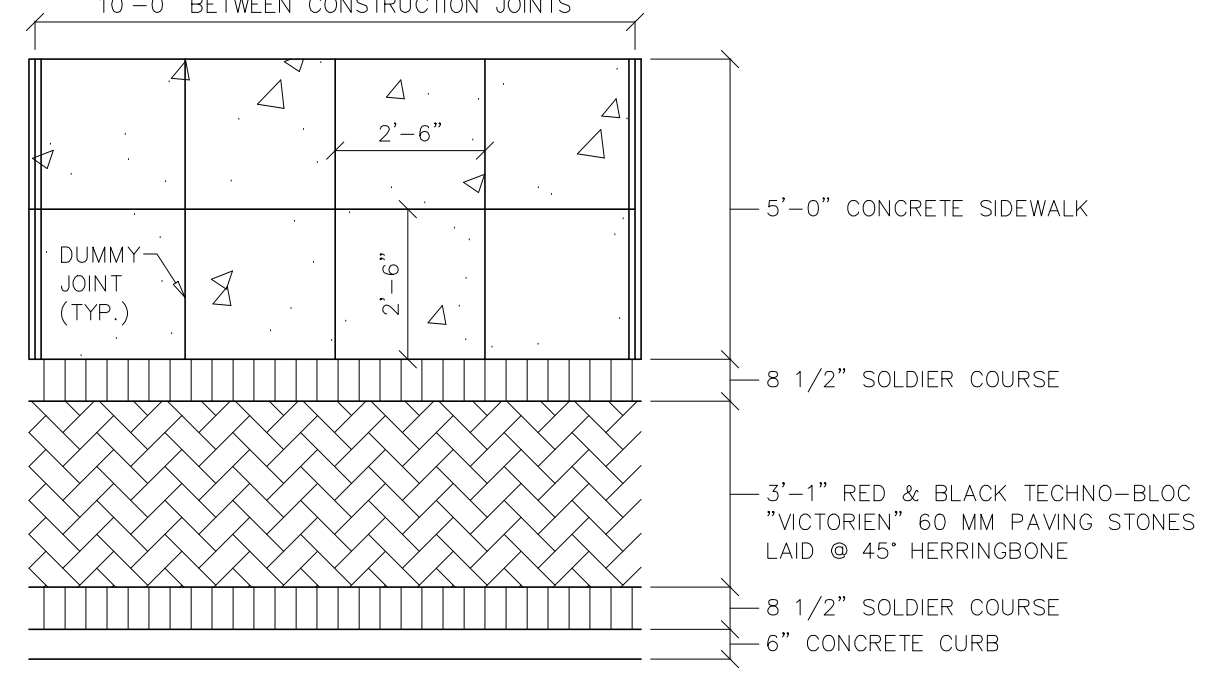
EVERGREEN TREE PLANTING DETAIL
N.T.S.



PLANTING DETAIL
TYPICAL TREE GUINING AND STAKING
N.T.S.



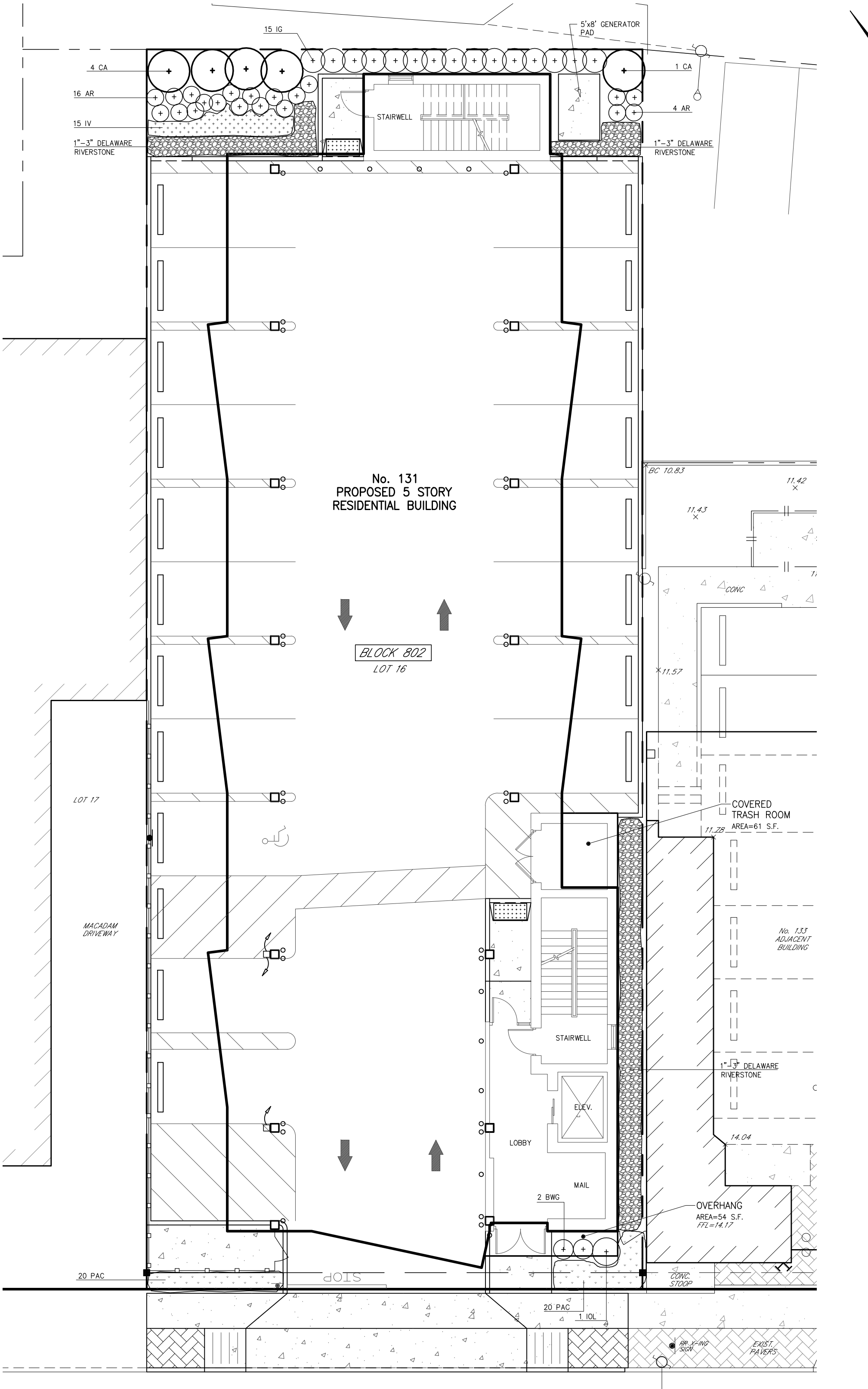
SHRUB PLANTING DETAIL
N.T.S.



STREETSCAPE DETAIL
N.T.S.

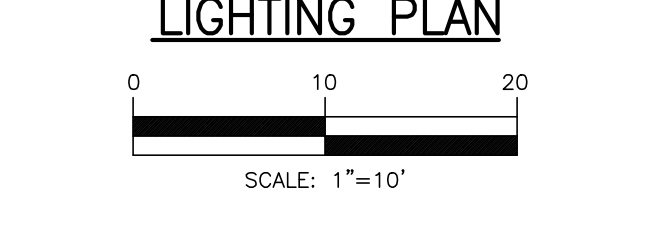


STREETSCAPE DESIGN PHOTO
N.T.S.



LANDSCAPING PLAN
SCALE: 1"=10'

FORT LEE (66' ROW)



LIGHTING PLAN
SCALE: 1"=10'

- LIGHTING NOTES**
- 1) LIGHTING TO BE OPERATED FROM DUSK UNTIL DAWN.
 - 2) LIGHTING DESIGN SHOWN HAS AN AVERAGE FOOTCANDLE OF 1.80.

Symbol	Qty	Label	Total Lamp Lumens	LMF	(MAREPAC)	Description
C	8	A	17,184	1.000	RAB	CLD26

Mounting Hgt=8 FT. APF

CLD26



LED ceiling light with precision optics deliver smooth and uniform distribution. Ideal for retail settings, workspace lighting and other applications requiring a high output commercial grade downlight.
Color: Bronze Weight: 18.0 lbs

CEILING LIGHT
N.T.S.

RAB

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info		LED Info	
Type	Constant Current	Watts	26W
		Color Temp	5000K (Cool)
		Color Accuracy	72 CRI
		L70 lifespan	100,000 Hours
		Lumens	2,864
		Input Watts	28.5W
		Efficacy	100.5 lm/W

PLANT SCHEDULE

Key	Botanical Name	Common Name	Qty.	Size
Trees				
IOL	Ilex x 'Oak Leaf'	Oak Leaf Holly	1	5'-6' ht.
Shrubs				
AR	Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Aronia	20	3g
BWG	Buxus 'Winter Green'	Winter Green Boxwood	2	30" ht.
CA	Clethra alnifolia	Summersweet	5	3'-4' ht.
IG	Ilex glabra	Inkberry	15	24"-36" ht.
Perennials/Groundcovers				
IV	Iris versicolor	Blue Flag Iris	15	1g
Grasses/Sedges/Rushes				
PAC	Pennisetum alopecuroides 'Cassian'	Cassian Fountain Grass	40	1g

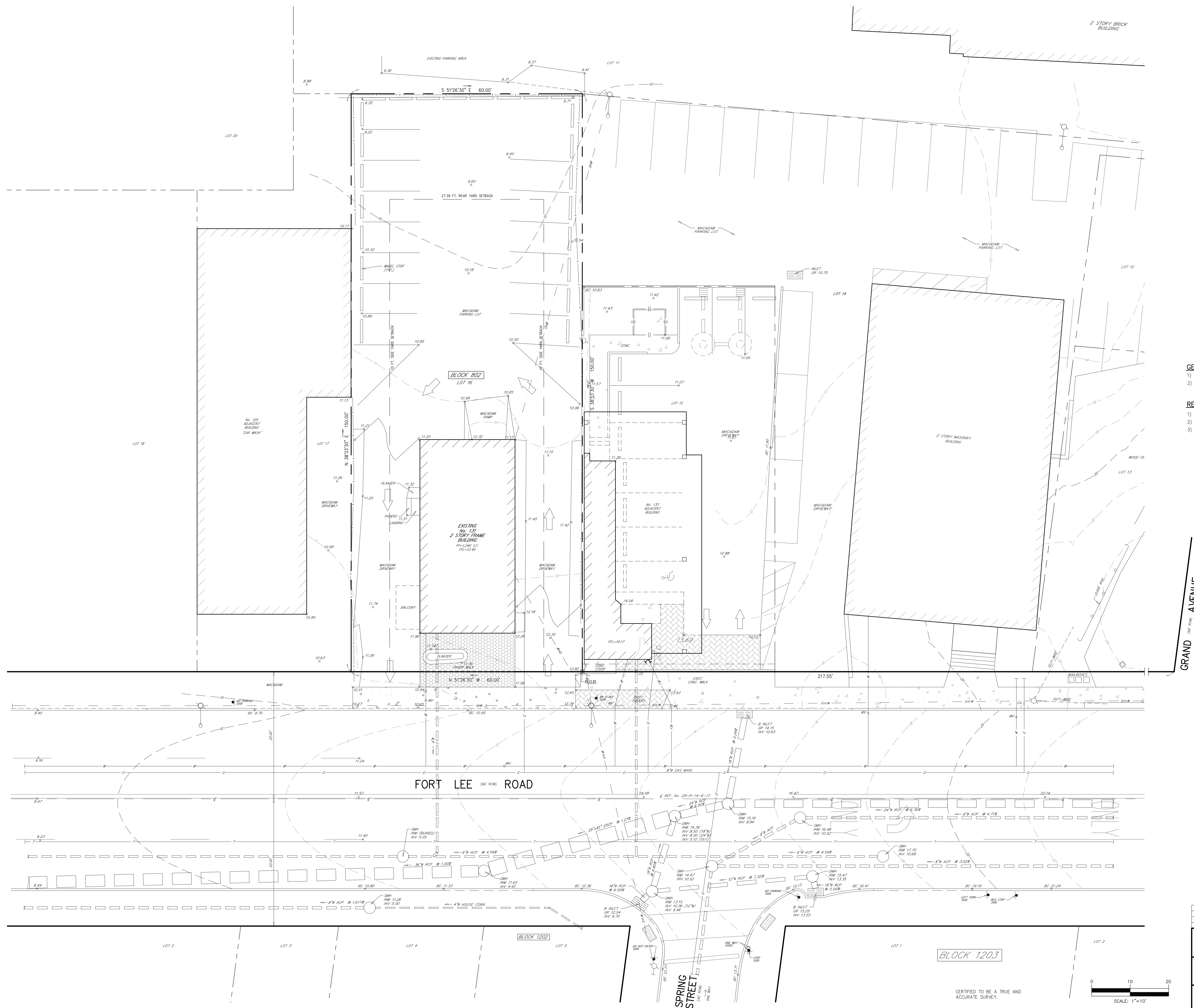
- LANDSCAPE SPECIFICATIONS AND PLANTING NOTES**
1. The Landscape Contractor will verify with the Architect that he is working from the most current plan and or latest revisions thereof, prior to ordering plants and beginning work.
 2. Protect all existing vegetation to remain from damage during construction.
 3. Use extreme caution to protect utilities.
 4. The contractor shall familiarize himself with the location of mechanical equipment and utilities existing or proposed in the area to be planted, and where necessary relocate plants at the direction of the Architect. Quantities given in the plant list are for reference only. The contractor shall be responsible for furnishing all materials required to complete the plans.
 5. The Contractor shall verify all grades, dimensions, and existing conditions and report any discrepancies to the Architect.
 6. Locations of new plants shall be staked by the contractor and approved by the architect before proceeding with the work.
 7. All beds and tree saucers shall receive 2 inches minimum of shredded hardwood mulch, dark in color.
 8. Contractor shall guarantee all plant material for one year from time of Landscape Architects final written approval.
 9. Earth Backfill shall be free from rubbish, debris, soil, roots, or artificial material.
 10. Backfill for planting shall be three parts topsoil, one part sand and one part peat moss.
 11. Contractor is responsible for watering until installation is complete.
 12. Contractor to repair all lawn areas damaged from construction and planting operations.
 13. All landscaped areas to be provided with an automatic irrigation system.

2	REVISED LIGHTING AND LANDSCAPING	4-5-21	B.W.	M.J.H.
1	UPDATED BUILDING AND PARKING	1-5-21	B.W.	M.J.H.
NO. REVISIONS		DATE	BY	CHKD

LIGHTING & LANDSCAPING PLAN

LOT 16 PROPOSED RESIDENTIAL APARTMENTS BLOCK 802
No. 131 FORT LEE ROAD
BOROUGH OF LEONIA BERGEN COUNTY NEW JERSEY
APPLICANT/OWNER: 131 FORT LEE ROAD LLC
131 FORT LEE ROAD
LEONIA, NJ 07605

MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29497	HUBSCHMAN ENGINEERING, P.A. ENGINEERS - PLANNERS - SURVEYORS 263A S. WASHINGTON AVE. BERGENFIELD, NJ 07821 201-384-5666	3956-4 2 OF 5
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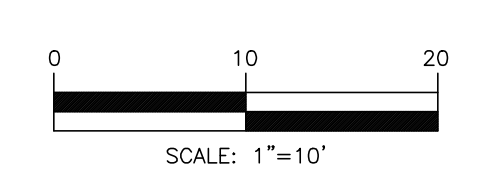
GENERAL NOTES
 1) TOTAL LOT AREA = 9,000.00 SF. (0.207 ACRES.)
 2) ELEVATIONS BASED ON NAVD 88. ADD 1.0' TO NAVG0 29.

REFERENCES
 1) DEED BOOK 8793, PAGE 204.
 2) SURVEY OF PREMISES BY P & M SURVEYING, DATED 1-3-02.
 3) BOROUGH OF LEONIA TAX MAPS.

GRAND AVENUE
(see plan)

FORT LEE ROAD
(66' ROW)

BLOCK 1203



CERTIFIED TO BE A TRUE AND ACCURATE SURVEY.

ROBERT J. MUELLER
 PROFESSIONAL LAND SURVEYOR
 N.J.L.S. NO. 37206
[Signature]
 DATE: 5-14-21

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497
[Signature]
 DATE: 5-14-21

NO.	DESCRIPTION	DATE	BY	CHKD.
1	MODIFIED LOT AREA IN GENERAL NOTES	11-3-21	B.W.	M.J.H.
LOCATION & TOPOGRAPHIC SURVEY				
LOT 16		PROPOSED RESIDENTIAL APARTMENTS		BLOCK 802
		No. 131 FORT LEE ROAD		
BOROUGH OF LEONIA		BERGEN COUNTY		NEW JERSEY
APPLICANT/OWNER: 131 FORT LEE ROAD LLC 131 FORT LEE ROAD LEONIA, NJ 07605				
DRAWN BY: B.W.		CHECKED BY: M.J.H.		
SCALE: 1"=10'		DRAWING NO. 3956-5		
ENGINEERS - PLANNERS - SURVEYORS		REV. 1		
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621		5 OF 5		
201-384-5666		© COPYRIGHT 2022 HUBSCHMAN ENGINEERING, P.A.		