

ADDITION & RENOVATION FOR 284 GLENWOOD AVE. LEONIA, NJ

ZONING INFORMATION

BLOCK: 901 LOT: 11
ZONING DISTRICT: A-3
(SINGLE FAMILY DWELLINGS)
USE GROUP: R-5
CONSTRUCTION TYPE: TYPE 5B

CONSTRUCTION DATA

	EXISTING	ADDITION	PROPOSED	TOTAL
BASEMENT	679 SF	388 SF	1,067 SF	2,422 SF
1ST FLOOR	863 SF	472 SF	1,335 SF	
2ND FLOOR	679 SF	408 SF	1,087 SF	
TOTAL	2,221 SF	1,268 SF	3,489 SF	

SCOPE OF WORK

ADDITION AND INTERIOR RENOVATION

ZONING ANALYSIS

	REQUIRED	EXISTING	PROPOSED	NOTE
MIN. LOT AREA	5,000 S.F.	5,364.95 S.F.	5,364.95 S.F.	NO CHANGE
MIN. LOT WIDTH	50 FT.	48.16 FT. (AVERAGE) (54.10+44.92+45.46)/3=48.16'	48.16 FT. (AVERAGE)	NO CHANGE
MIN. LOT DEPTH	100 FT.	113.84 FT.	113.84 FT.	NO CHANGE
MIN. FRONT YARD	25 FT.	21.0 FT.	27.16 FT.	NO CHANGE
MIN. REAR YARD	25 FT.	56.75 FT.	42.75 FT.	NO CHANGE
MIN. SIDE YARD	ONE: 10 FT. BOTH: 40% OF LOT WIDTH	ONE: 4.4 FT. BOTH: 48.2'x (26.1 FT)	ONE: 244.4/2=122.2' (PRE EXIST) BOTH: 15.5 FT	VARIANCE REQ'D
MAX. HEIGHT / STORIES	35 FT. / 2 STORIES	23.08 FT. / 2 STORIES	27.63' FT. / 2 STORIES	COMPLIED
MAX. BUILDING COVERAGE	25% (3,600 S.F.)	16% (863 S.F.)	25% (1,335 S.F.)	COMPLIED
MIN. LIVING FLOOR AREA	1,600 S.F.	1,542 S.F.	2,422 S.F.	COMPLIED

PROPOSED IMPERVIOUS COVERAGE:

BUILDING	1335
DRIVEWAY	264
DECK W/STAIR	236
CONC. WALKWAY	80
CURB	32
RETAINING WALL	37
MASONRY STAIR	20

PROPOSED BUILDING COVERAGE:

BUILDING	1335
DECK	236
CONC. WALKWAY	80
CURB	32
RETAINING WALL	37
MASONRY STAIR	20

2004 SF

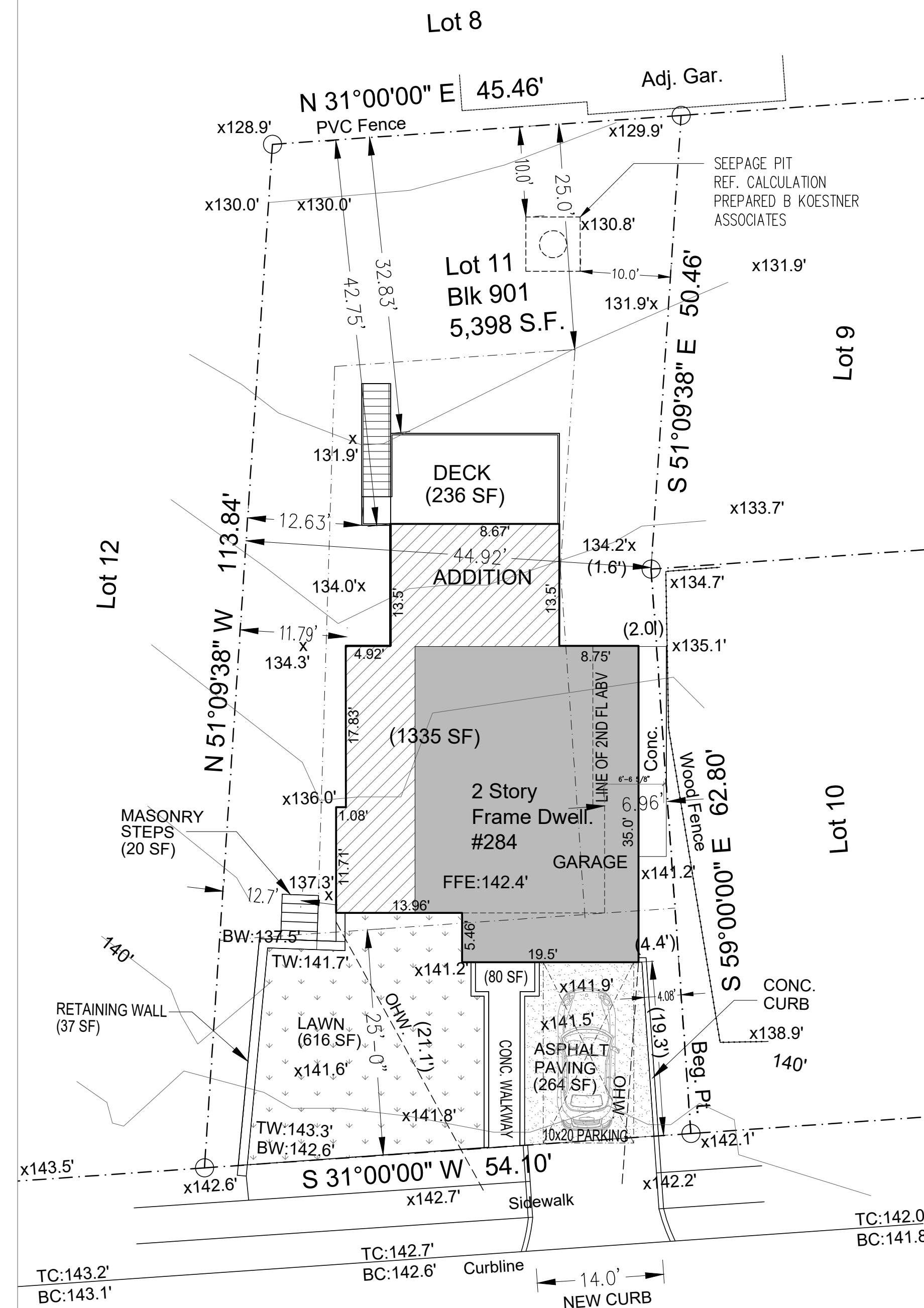
2004 SF / 5364.95 SF = 0.37 (37% < 50%)

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH BEST ACCEPTED TRADE PRACTICE, ALL MATERIAL OF BEST GRADE FOR THEIR PURPOSE. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND STATE LAWS, MUNICIPAL ORDINANCES, INTERNATIONAL BUILDING CODE 2000 AND NEW JERSEY UNIFORM CONSTRUCTION CODE.
- THE CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS AND ALL OTHER FEES, LICENSES, CERTIFICATES OF INSPECTION AND APPROVAL NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND FIELD MEASUREMENT IN FIELD BEFORE START OF WORK. HE SHALL BE GUIDED AT ALL TIMES BY DIMENSIONS SHOWN ON PLANS NOT BY SCALING OF DRAWINGS AND RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR NON-CONFORMITIES IN DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES NECESSARY TO ADEQUATELY PROJECT ALL PERSONS AND PROPERTY FROM INJURY, DAMAGE OR LOSS. HE SHALL INSTALL AND MAINTAIN ALL REASONABLE SAFEGUARDS, NOTICES, BARRIERS, SCAFFOLDING, LADDERS AND PRECAUTIONS REQUIRED TO PROVIDE ALL PROTECTION.
- THE CONTRACTOR SHALL PROTECT ALL WORK AND EQUIPMENT TO REMAIN AT THE SITE AND SHALL BE IN RESPECT OF ALL WORK ADHERE TO OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM THE CONSTRUCTION SITE IMMEDIATELY AFTER COMPLETION OF THEIR WORK IN SAFE AND LEGAL MANNER.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS.
 - IT SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OR,
 - SHALL HAVE BEEN ACCEPTED FOR USE UNDER PRESCRIBED CODE TEST METHODS BY THE COMMISSIONERS OR,
 - APPROVED BY THE BOARD OF STANDARD AND APPEALS.
- THE CONTRACTOR SHALL SUPPLY TO THE OWNER AND THE ARCHITECT COPIES OF ALL PREMISES.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OR WASTE MATERIALS AND RUBBISH, AT COMPLETION OF THE WORK, PREMISES ARE TO BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.

LIST OF DRAWINGS

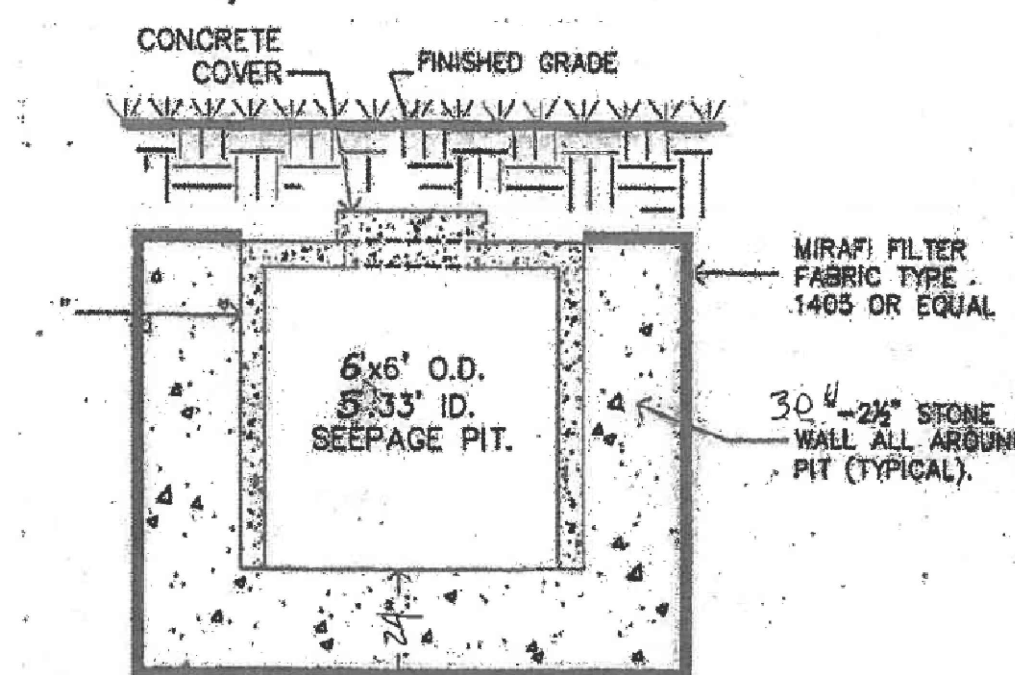
T-001	PROJECT INFORMATION AND SITE PLAN
A-101	FLOOR PLANS
A-201	ELEVATIONS



1 SITE PLAN

SCALE: 3/32"=1'-0"

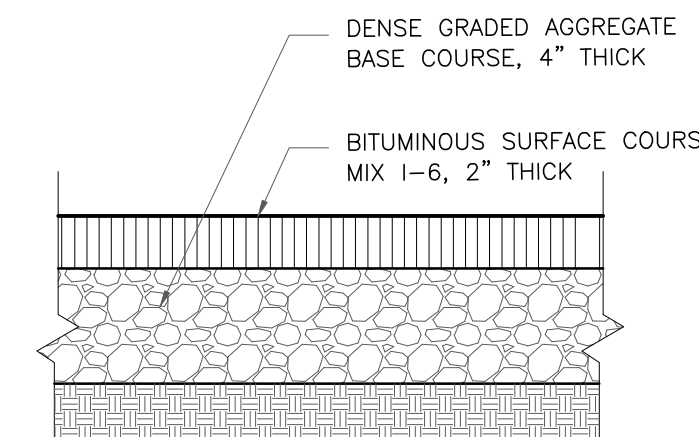
REFER TO SURVEY PREPARED
BY JOSEPH H. BARBIERI & ASSOCIATES (DATED 8/25/2021)



REFER TO DRAINAGE CALCULATION BY KOESTNER ASSOCIATES.

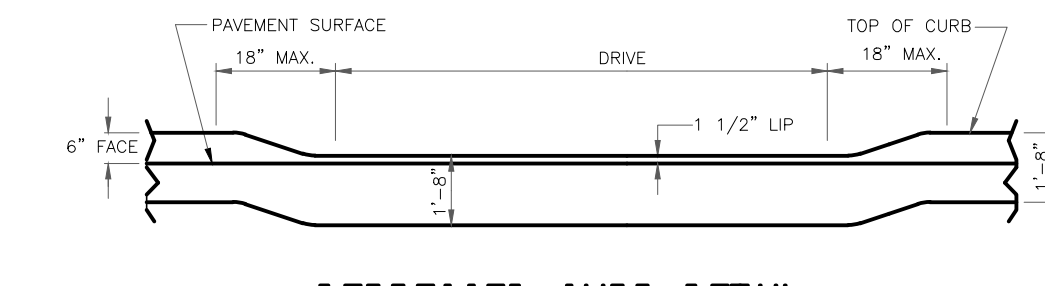
2 6x6 SEEPAGE PIT DETAIL

SCALE: N.T.S.



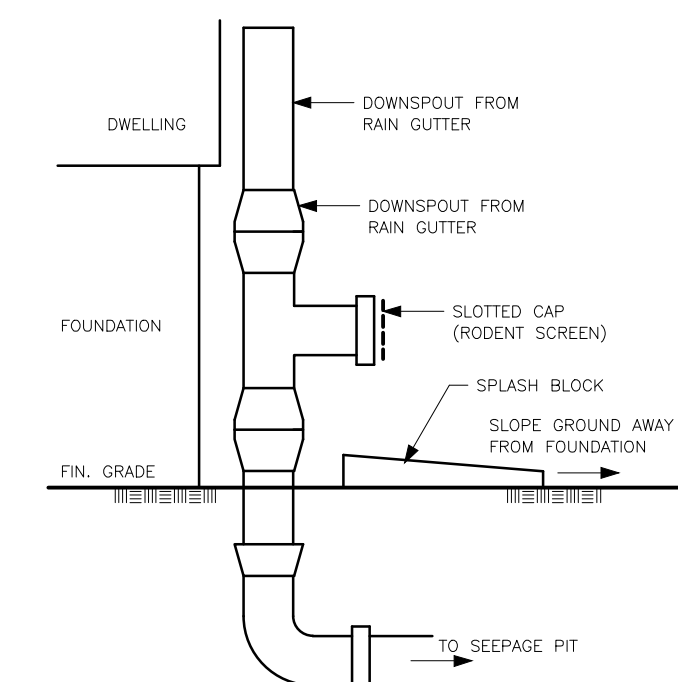
3 ASPHALT PAVING DETAIL

SCALE: N.T.S.



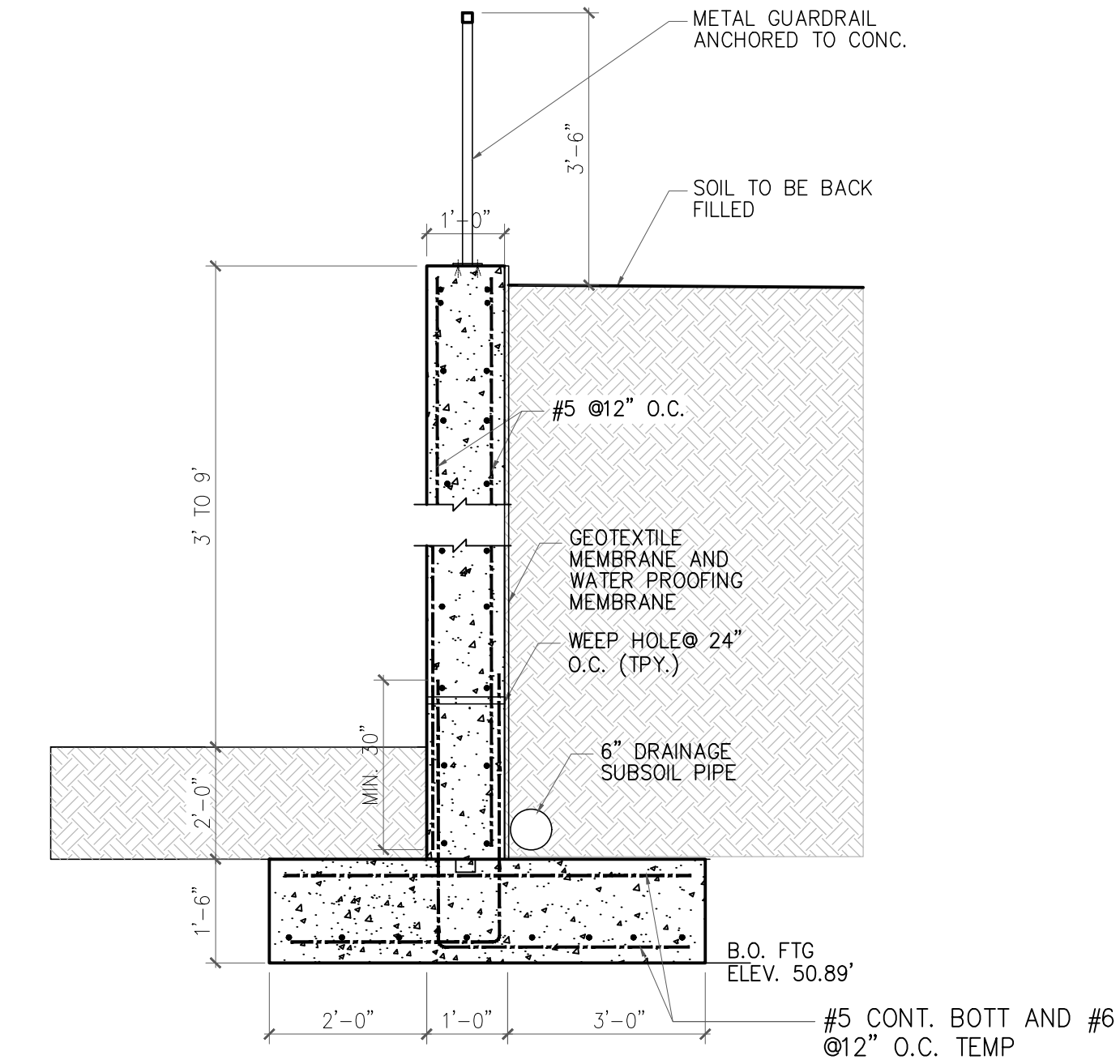
4 DEPRESSED CURB

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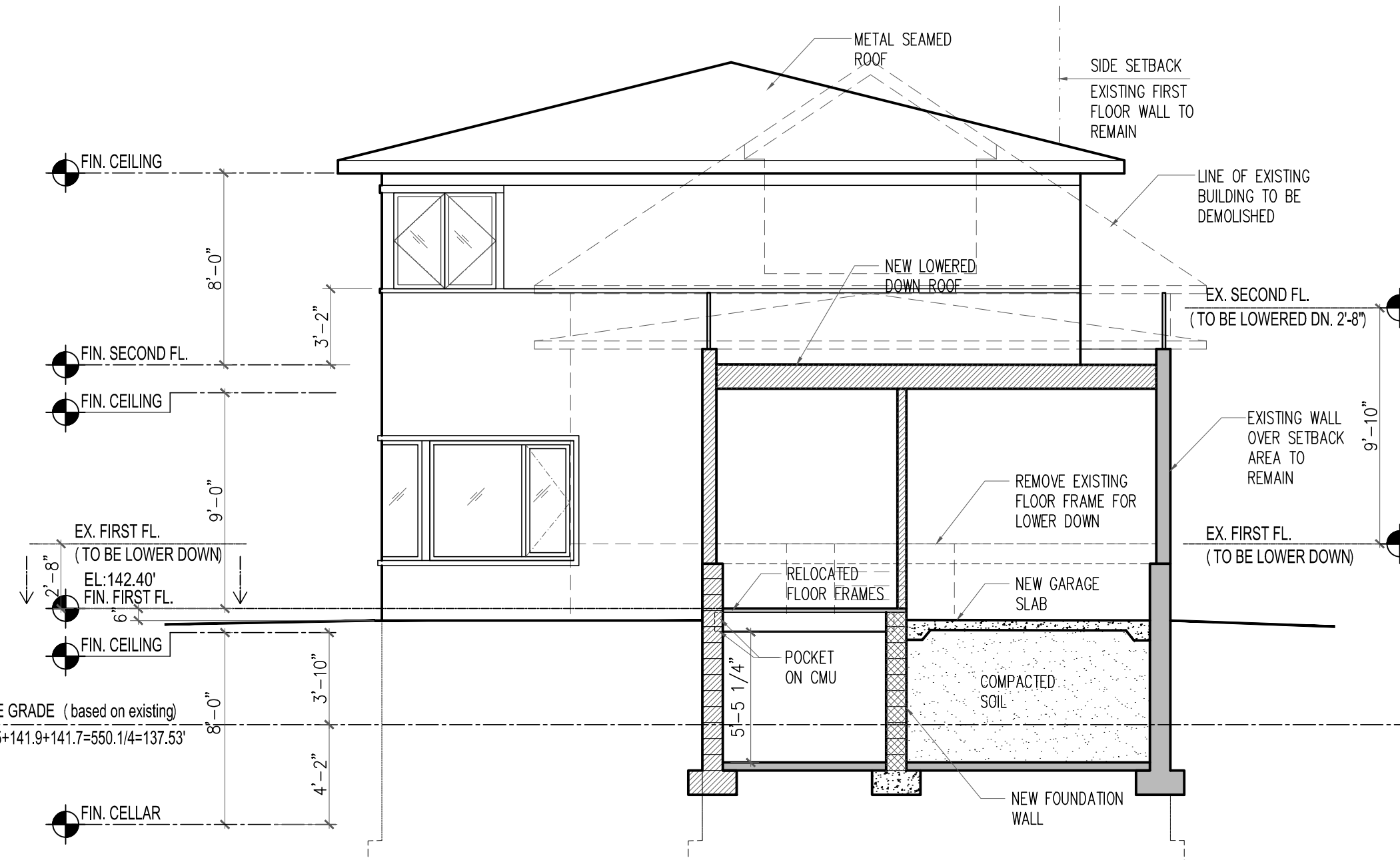
5 TYP. ROOF LEADER DETAIL

SCALE: N.T.S.



6 RETAINING WALL

SCALE: N.T.S.



6 RETAINING WALL

SCALE: N.T.S.

BOROUGH OFFICIAL'S APPROVAL

CHAIRMAN:

SECRETARY:

BOARD ENGINEER:

PROJECT

284 GLENWOOD AVE.
LEONIA, NJ 07605

ARCHITECT

JAD

ARCHITECTURE • INTERIOR DESIGN

JOON ARCHITECTURE AND DESIGN, LLC

21 GRAND AVE. #604B, PALISADES PARK, NJ 07450
(USE #625 FOR MAILING ADDRESS INSTEAD OF #604B)

DIRECT CONTACT: 732-586-2563
OFFICE: 201-496-6242
EMAIL: hcas2012@gmail.com

HOJOON CHUNG, RA
NJ State License
21A01760900

REVISIONS:

1	1/27/2022	RESPONSE TO ZONING
-	10/28/2021	ZONING APPLICATION

No: Date: Description:

DRAWING
PROJECT DATA,
AND SITE PLAN

PROJECT NUMBER

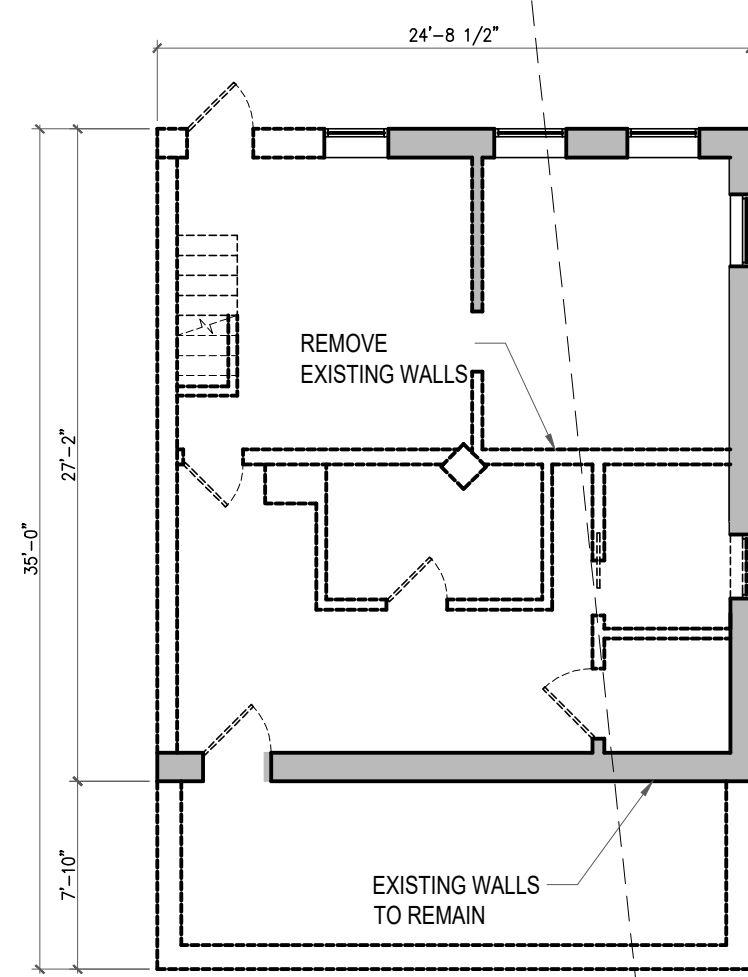
21-0825-01

DATE SCALE

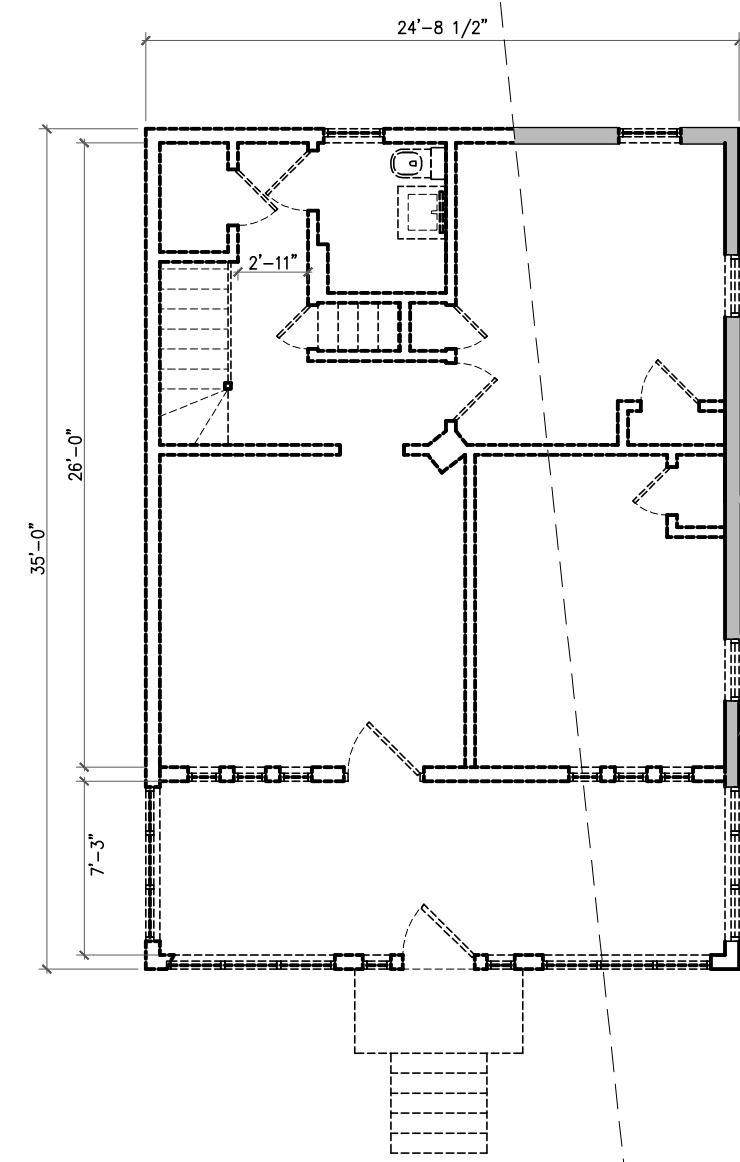
9.27.2021 AS NOTED

DRAWING NUMBER

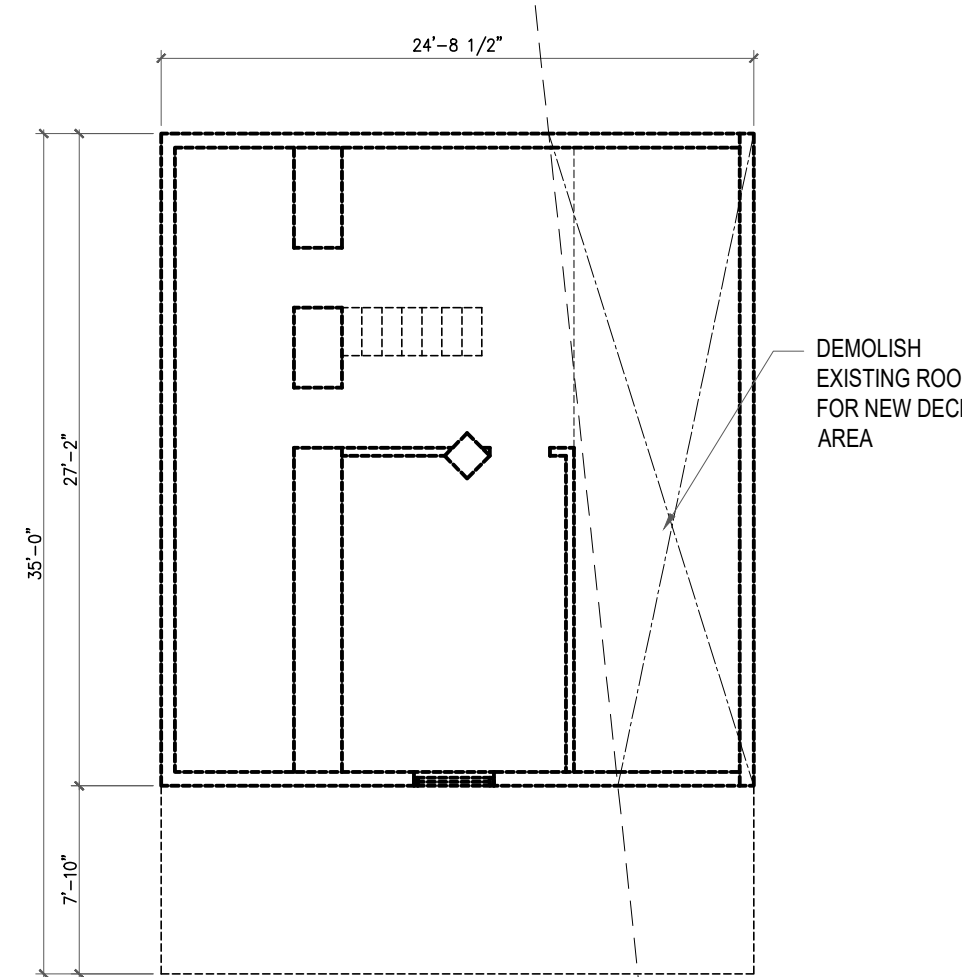
T-001



1 CELLAR DEMOLITION PLAN
SCALE: 1/8"=1'-0"



2 1ST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"



3 2ND FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

DEMOLITION NOTE

- A. WORK INCLUDED IN CONTRACT
FURNISH ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT REQUIRED TO PERFORM THE WORK AS SHOWN ON DRAWINGS OR SPECIFIED HEREIN IN GENERAL. THE WORK SHALL INCLUDE BUT NOT BE LIMITED TO WORK SPECIFIED HEREIN. THE WORK OF DEMOLITION AND REMOVAL SHALL BE COMPLETE AND ALL MATERIAL / EQUIPMENT SHALL BE SUPPLIED AND USED PROPERLY.
- B. CARE IN REMOVAL OF WORK
ALL REMOVALS SHALL BE PERFORMED IN KEEPING WITH THE BEST SAFE PRACTICES GOVERNING SAME AND IN ACCORDANCE WITH ALL TOWN, CITY, STATE AND/OR FEDERAL LAWS GOVERNING SAME.
- C. CLEAN UP
ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON SITE. UPON COMPLETION OF WORK UNDER THIS CONTRACT SHALL LET THE PREMISES CLEAN, NEAT AND ORDERLY. PREMISES SHALL BE BROOM SWEEP PROPERLY.

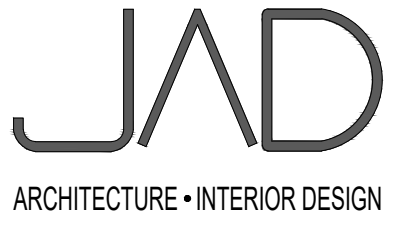
GENERAL WORK NOTES

- 1. ANY ITEMS OR MATERIAL NOT SPECIFIED IN THE DRAWING, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT. THE CONTRACTOR MAY BE REQUIRED TO SUBMIT SAMPLES OR SPECIFICATIONS.
- 2. ALL EQUIPMENT AND ACCESSORIES SHALL BEAR SAFETY STANDARD LABELS. (i.e. UL, AGA)
- 3. ALL FINISH MATERIAL SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 AS REQ'D.
- 4. ALL GLAZING SHALL COMPLY WITH AM. NAT. INST. Z97-1-1972 LATEST EDITION.
- 5A. ALL CONCRETE WORK SHALL COMPLY WITH ACI 302 TABLE 5.2.1. IN LATEST EDITION.
- 5B. ALL CONCRETE SHALL BE MIN. STRENGTH OF 3,500 PSI AT 28 DAYS AND CONFORM TO ACI STANDARD.
- 6. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO ASTM STANDARD AND ASI.
- 7. ALL DRYWALL FRAMING MEMBERS SHALL BE USED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION AND MINIMUM REQUIREMENT OF INTERNATIONAL BUILDING CODE 2000 (IBC 2000).
- 8. ALL CARPENTRY WORK SHALL CONFORM TO INTERNATIONAL BUILDING CODE 2000 (IBC 2000).
- 9. ALL FIRE RATED TYPE WALL OR CEILING ASSEMBLY SHALL CONFORM TO ANSI STANDARD AND NFPA REQUIREMENT. DRYWALL FOR FIRE RATING SHALL BE 'X'-TYPE 5/8" GYP. BD. SHALL BE USED. FIRE RATED CONSTRUCTION SHALL COMPLY WITH IBC 2000 AND IFC 2000.
- 10. ALL MATERIAL IN INTERIOR WET AREA SHALL BE WATER RESISTANT TYPE AND TILE INSTALLATION SHALL BE CONFORM TO ANSI STANDARD.
- 11. ALL ELECTRICAL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (NEC 2002).
- 12. ALL MECHANICAL WORK SHALL COMPLY WITH INTERNATIONAL MECHANICAL CODE 2003, NFPA AND STANDARD OF ASHRAE 90.1-1999.
- 13. ALL PLUMBING WORK SHALL COMPLY WITH NATIONAL STANDARD PLUMBING CODE 2003 AND APPLICABLE REGULATIONS BY LOCAL AGENCIES HAVING JURISDICTION.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND WORK WARRANTY AFTER COMPLETION OF WORK.

PROJECT

284 GLENWOOD AVE.
LEONIA, NJ 07605

ARCHITECT



JOON ARCHITECTURE AND DESIGN, LLC
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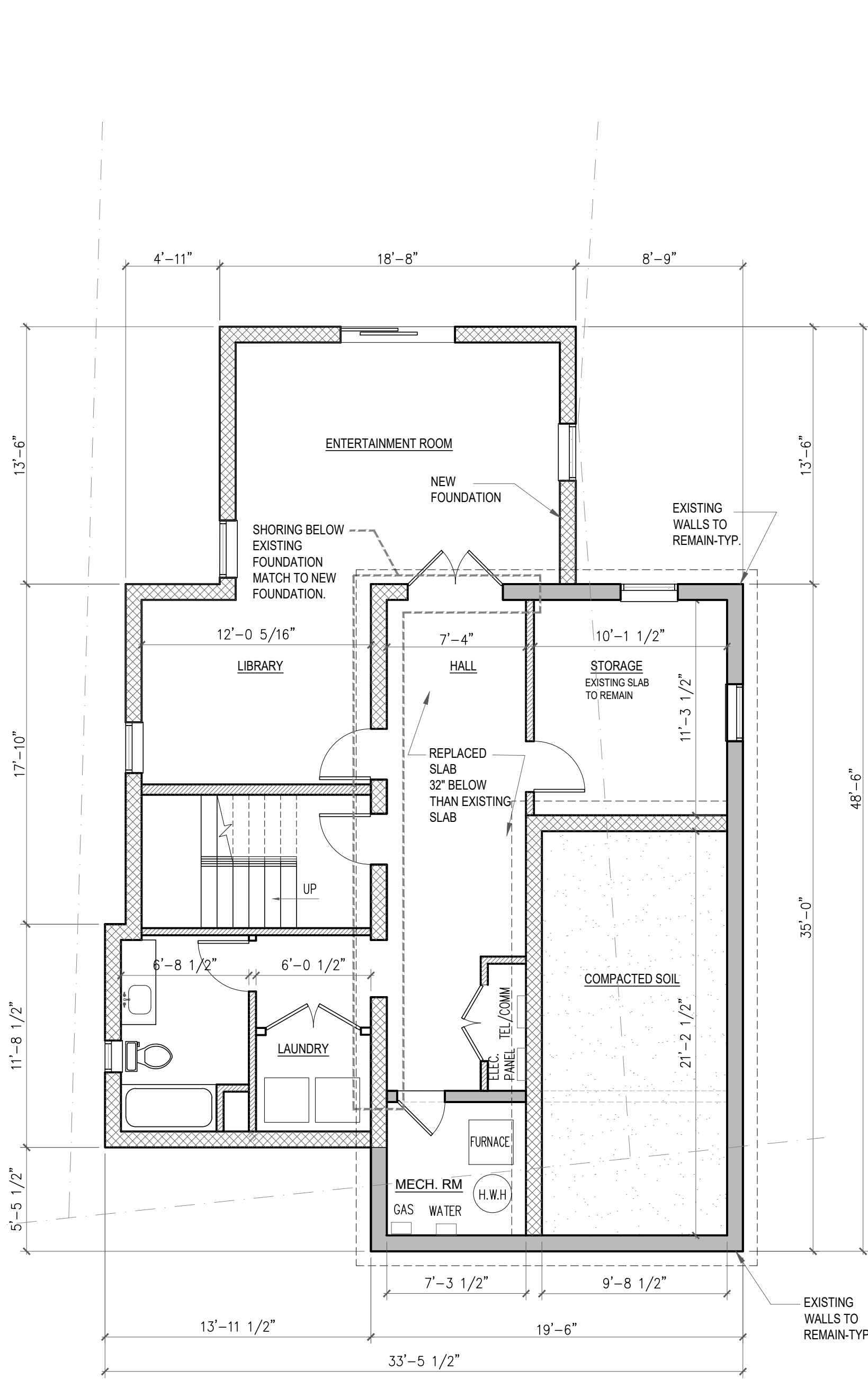
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DRAWING FLOOR PLANS

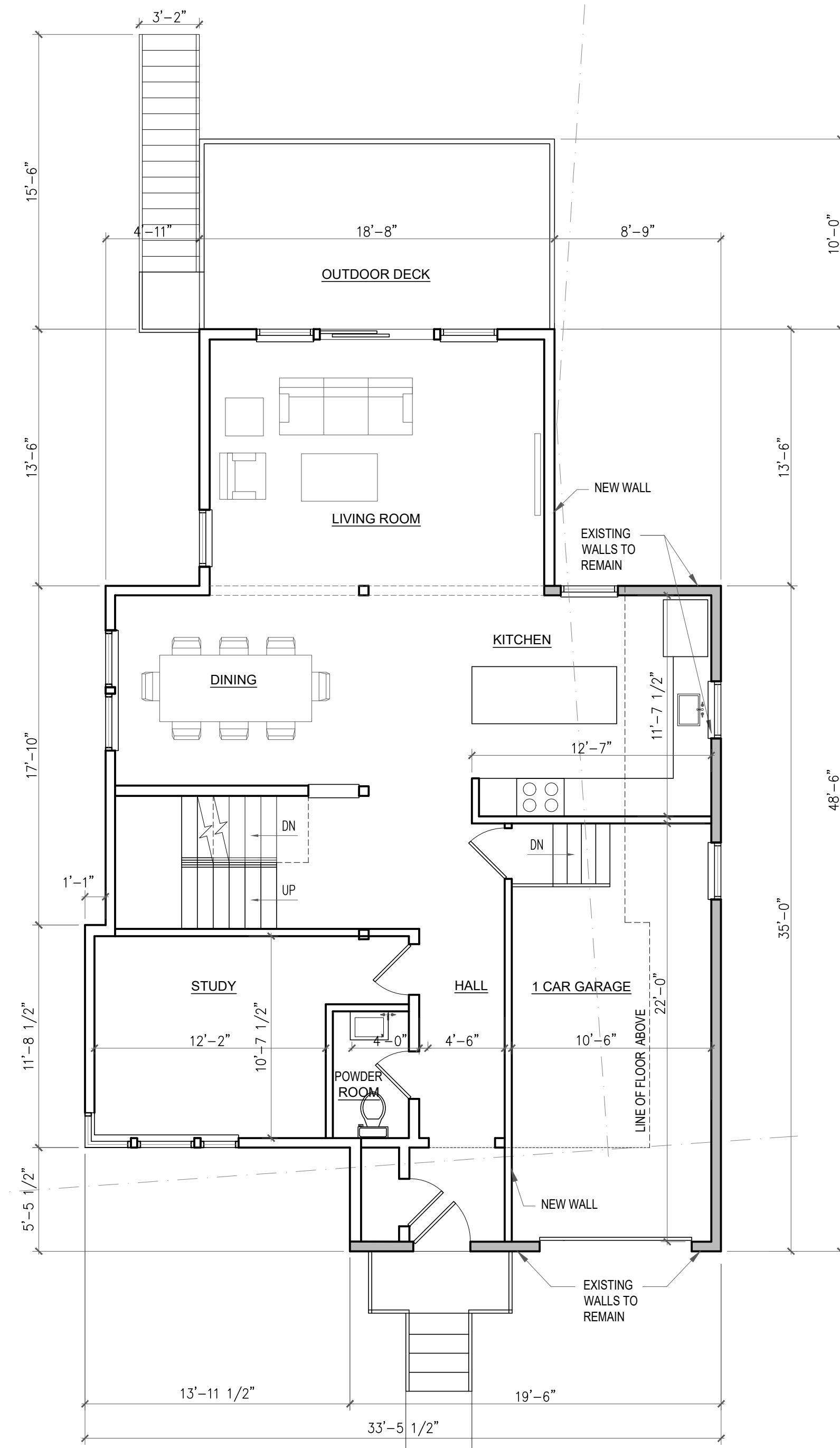
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DATE
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SCALE
AS NOTED

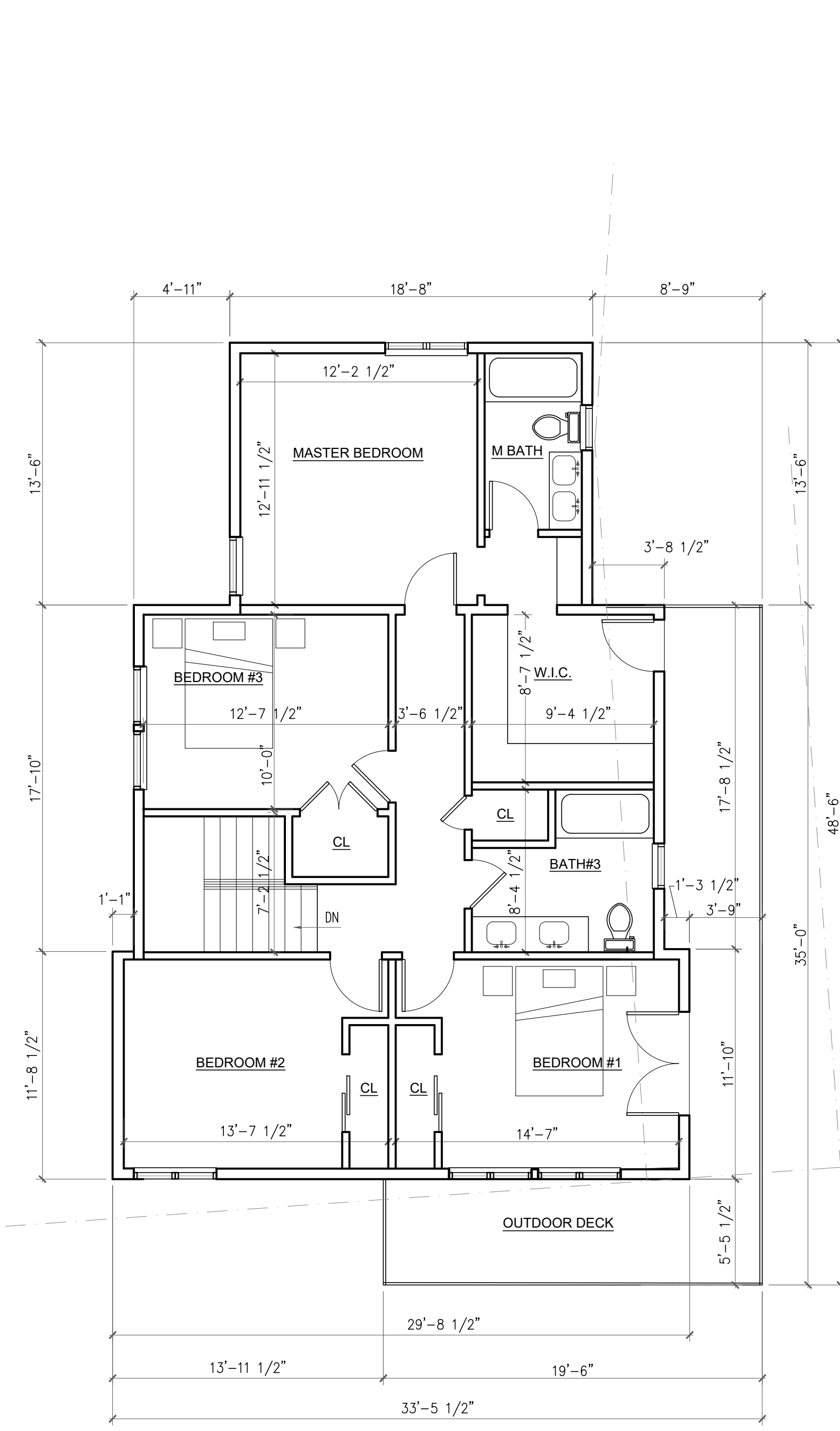
A-101



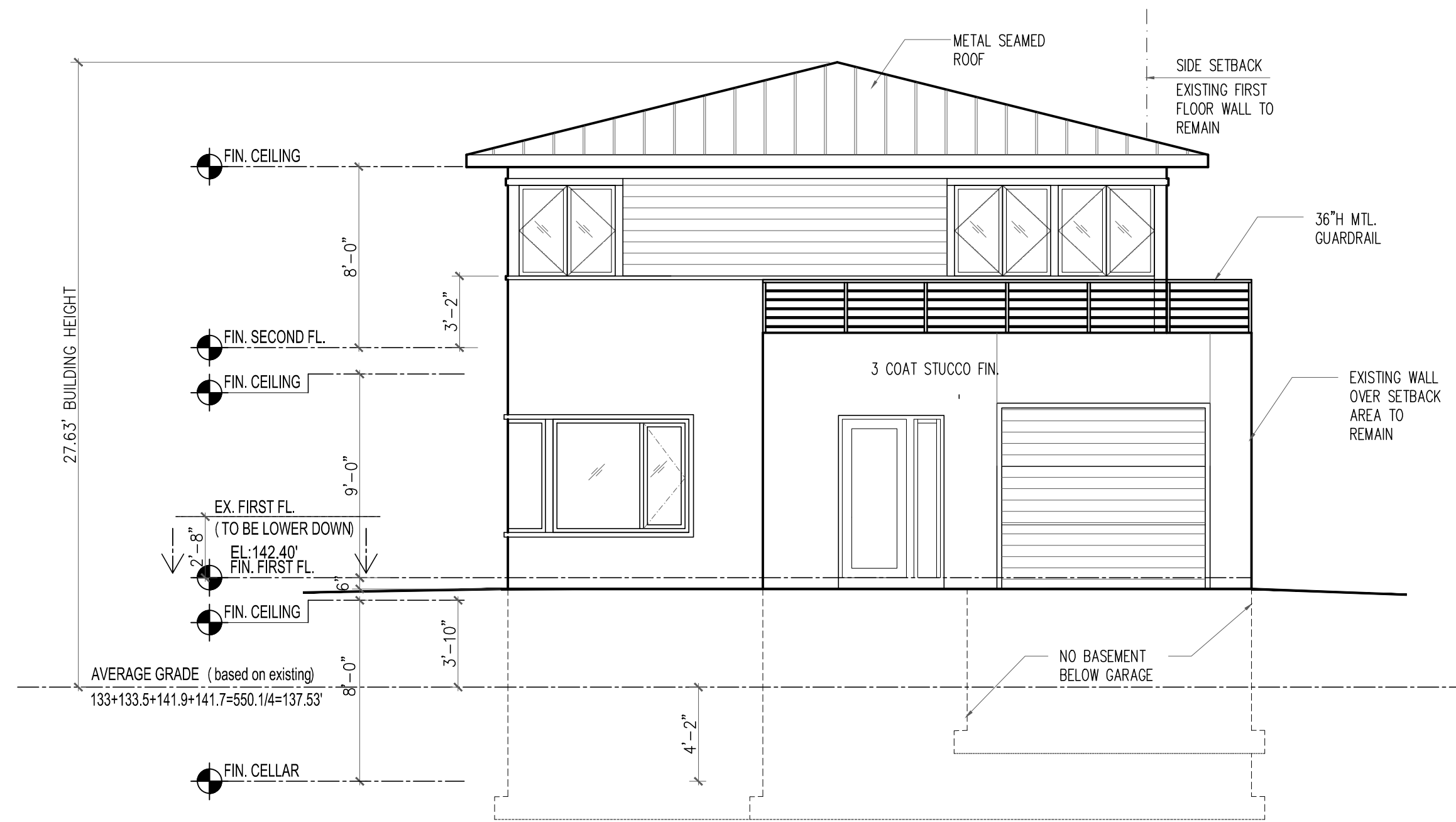
4 PROPOSED CELLAR PLAN
SCALE: 3/16"=1'-0"



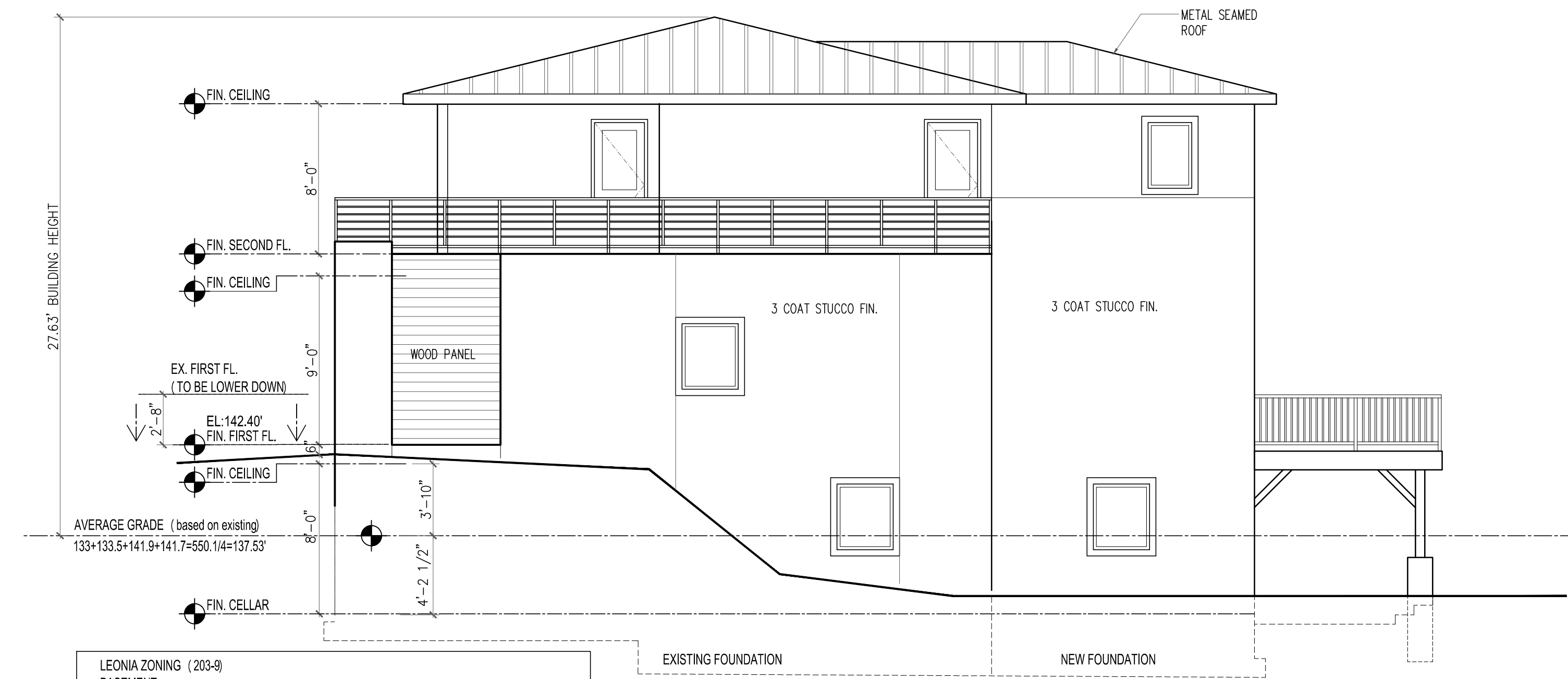
5 PROPOSED 1ST FLOOR PLAN
SCALE: 3/16"=1'-0"



6 PROPOSED 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 3/16"=1'-0"



LEONIA ZONING (203-9)
BASEMENT
A portion of the building partly underground shall be considered a story, but having less than half of its clear height below the average grade of the adjoining ground.

2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16"=1'-0"



3 PROPOSED REAR SIDE ELEVATION
SCALE: 3/16"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"

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